

There is nothing new in the world except the history you do not know.

— Harry S. Truman

# INSIDE-BOOSTER

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NEWS OF LINCOLN PARK, LAKE VIEW, NORTH CENTER & LINCOLN SQUARE

[insideonline.com](http://insideonline.com)

## Francis Parker principal ignores potential crimes, decries video which exposed Dean of Students

BY SANFORD B. DOLE

Days after a video clip was released - and went viral - in which the dean of students at Lincoln Park's Francis W. Parker School private school, 330 W. Webster, was caught openly bragging about how he has been able to use his job to expose and teach 14-year-old students about how to use sex toys, the principal of the school defended his dean, Joseph Bruno.

In the letter sent out to parents, Principal Daniel B. Frank, blasted the video released by Project Veritas, a New York-based news organization which covertly recorded the video.

"One of our employees, while at a conference last week, was targeted by a right-wing fringe group of individuals that seeks to undermine and manipulate Diversity, Equity and Belonging work in schools. [On Dec. 9], the group showed up outside the school and attempted to confront

and ambush this employee with aggressive questions. A handful of students and family members were present. The incident is very upsetting, and we stand in full support of [Bruno]. We have put additional security measures in place, and we will notify the community should there be any additional activity from this group regarding the school or our employee. We advise members of our community not to engage in any organization that fits this general profile," wrote Frank.

Despite providing no evidence, Frank has described the videos as "deceptively edited" and warned school parents against looking at the videos. Doing so, he said, would only benefit Project Veritas with more views.

But attacking the messengers seems to be failing, as the video has now had over 5-million views.

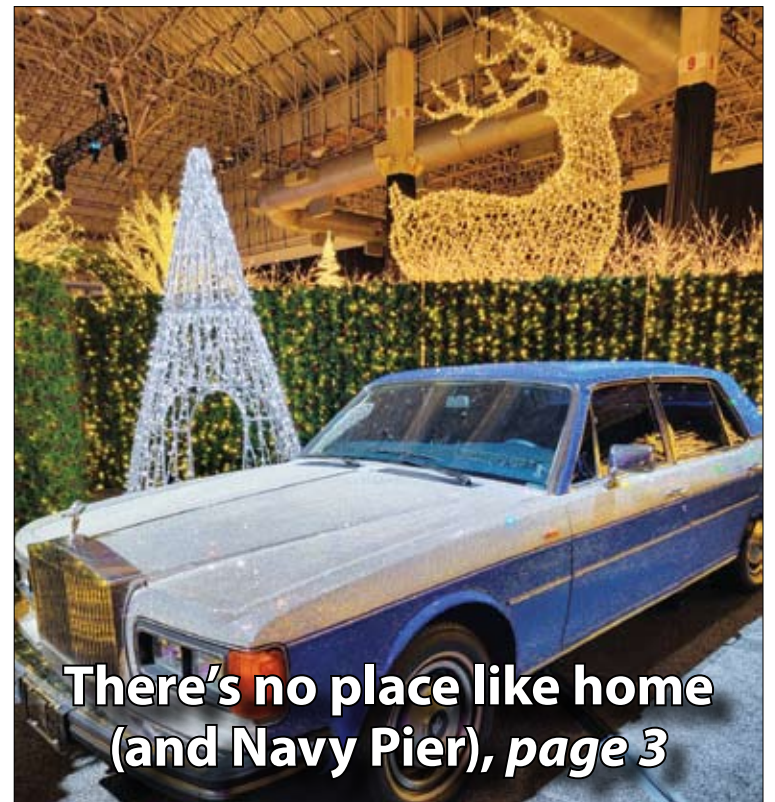
U.S. federal law defines child pornography as any visual depic-

*Despite providing no evidence, Frank has described the videos as "deceptively edited" and warned school parents against looking at the videos.*

tion of sexually explicit conduct involving a person less than 18 years old, or the sexual abuse and exploitation of children.

In Illinois, it is illegal to make, sell, or distribute sexual or explicit images and other media to children under the age of 18. That includes "films, videotapes, photographs or otherwise depicts or portrays by means of any similar visual medium or reproduction or depicts by computer any child whom he or she knows or reasonably should know to be under the

VIDEO see p. 16



There's no place like home (and Navy Pier), page 3

Do not miss checking out this gorgeous Rolls-Royce Silver Spur from the Klairmont Collections Auto Museum, 3117 N. Knox Ave. It is covered in one million Swarovski crystals that were each individually set by hand.

## City undertakes project meant to make Lawrence Ave. more bike and pedestrian oriented

Project to run from Western Ave. to River

A stretch of Lawrence Ave. in Lincoln Square is getting some attention after city officials and other local organizations broke ground on the \$12 million Lawrence Ave. streetscape project, which extends from Western Ave. to the Chicago River.

The project features a variety of infrastructure changes that will slow down traffic and create more vehicle congestion.

City officials believe that by building more vehicle barriers they can grow a more pedestrian friendly Lawrence Ave., hoping that supports economic development. But for a while, residents, commuters and area businesses will suffer through an extended construction period, as the work is expected to be ongoing now through spring of 2024.

"This project will create a safer space for walking and biking [making it] more inviting for the small businesses," said CDOT Commissioner Gia Biagi.

The streetscape project is aimed at helping people walk and bike along the corridor by adding bump-outs to shorten crossing distances and slow vehicle speeds, add new ADA ramps and

crosswalks, a pedestrian island at Francisco and Lawrence, and a new contraflow bike lane on Francisco that will provide a connection to the North Shore Channel Trail.

The city hopes to create a more vibrant and inviting street by adding community identifiers, new street lighting, parkway trees, parkway pavers, and a public plaza on the Northeast corner of Washtenaw Ave and Lawrence Ave.

Additional changes include full-width resurfacing, new curb and gutter, drainage improvements, new pavement markings, new traffic signs and a new signal. This project is a continuation of city's work on Lawrence Ave. between Clark St. and Western Ave., completed in 2015, and included a number of vehicle obstacles to slow traffic and improve safety.

The \$11.8 million project is funded by Chicago taxpayers through Tax Increment Financing and the Chicago Works capital plan. Lawrence Ave. got its name when banker Lazarus Silverman was walking through his new subdivision on the North Side of the city with his friend Bradford A. Lawrence, when Silverman

LAWRENCE see p. 16

## North Side Aldermanic race candidates come into focus

If all politics is local, then for Chicago residents and voters that starts with the upcoming aldermanic races.

Each alderman serves as a de-facto mayor of their ward. And in an unusual situation, nearly one-quarter of them citywide will not seek reelection this February, whether it's because of a run for a higher office or because of retirement.

In an earlier era in Chicago, aldermen and women used to brag about providing ward services, and depended heavily on the support of the Democrat Party and ward committeemen. But races these days tend to be less about party, and much more agenda driven. Recently voting in Chicago over the last decade has veered from liberal and moderate, to the left, and the hard left. Because the election is non-partisan, the Democratic Party generally does not recruit candidates. It's every man and woman for themselves.

Many times now there are organizations outside the regular

Democrat Party working with candidates, and bringing in more outside cash and manpower than the Democrat party may provide.

We encourage our readers to look at where each candidate's organizational muscle, manpower and money is coming from, and seek out what agenda those organizations may be fronting for. Knowing where a new candidate's money and backing comes from is a good way to figure out where each may rule from if they win.

In this election, many slots are wide open. The Chicago Board of Elections has determined who we may see on the ballots, barring somebody being tossed off the ballots through ballot challenges. The effort to have people tossed off the ballot by challenging signatures has a long history in Chicago. That was a major part in how former President Barack Obama won his first election in Chicago long ago.

On the North Lakefront there are going to be three uncontested elections, with the incumbent fac-

ing no challengers: Brian Hopkins [2nd], Scott Waguespack [32nd], and Matt Martin [47th].

For wards with multiple candidates, the goal for each is to get 50% - plus one vote - in the Feb. 28 primary races. If that doesn't happen, then the two candidates getting the most votes will run against each other in the April 4 runoff election.

For our purposes we'll review the races geographically, working South to North, starting in the 42nd Ward.

Ald. Brendan Reilly [42nd], will face just one challenger: Chris Cleary.

In the 43rd Ward there are six candidates: Timmy Knudsen, who was named by Mayor Lori Lightfoot to finish off former Ald. Michele Smith's term. He's being challenged by Brian Comer, Rebecca Janowitz, Steven Botsford, Steven McClellan and Wendi Taylor Nations.

In the 44th Ward, where Ald.

CANDIDATES see p. 16



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# This Christmas see the love seated all around us



By Thomas J. O'Gorman

And there were plums and prunes and cherries; There were citrons and raisins and cinnamon, too There was nuts, and cloves and berries; And a crust that was nailed on with glue.  
-Miss Fogarty's Christmas Cake

These words from the chorus of a comic Irish tune about Irish cooking, give a taste of what I mean.

For the past 30 years I have hosted Christmas dinner for family and friends. First in the old days on Astor St. and now in my East Village location. But as everyone knows, cooking and hosting is an exhausting task.

This year I am still hobbled with my knee healing up. So some of us will be going to my sister's for the Yule Feast. We're lucky. Mary Regina is a stunning cook. I know she will brighten a festive table and delight us especially with dessert.

My sister has the cooking spirit. She is at home with the marvels of the kitchen and is not frightened of a recipe challenge.

We tend to be a small canapé family. Not people who thrive on long elaborate pre-dinner cocktails and hors d'oeuvres that fill us up. Always very cold Champagne with reasonable tidbits. As it should be. We have always found cold Christmas Champagne to be the most refreshing of the year. We're always in the mood.

I've offered no undue suggestions for a dinner menu. After three decades we probably need to break out of the rare prime rib fare. Playing with menus is always fun.

I'd be up for Goose or duck. Maybe even a rack of lamb or Beef Wellington. I will offer to bring the lobster salad.

But maybe we could get more creative with some fine Irish smoked salmon. This is when I really miss the succulent turtle soup from Binyon's that I always had a gallon of at Christmas, thanks to the late Hal Binyon. It always hit the spot. Especially at 2 a.m. after Midnight Mass. Took the chill from your bones.

My sister is a great soufflé maker, unafraid to whip those egg whites and grind great French cheese. She works wonders with spinach or potatoes. Nothing better than a potato soufflé. She loves rooting out some treasured French dish that is not often produced. Keeping the guests guessing is always fun. So are some of her remarkable sauces, especially with poultry. Brandied cherry sauce with game hens is a special treat.

I'm wondering if small individual lobster pot pies wouldn't

make a miraculous Christmas first course. Served with a premier growth true Chablis. Ice cold. This we'll have to discuss.

The wines are always a treat as they should be. Simple. Traditional. Glorious. Chateauf-du-pape or fruity Gigondas. Keen Chablis or memorable refined Spanish reds and Portuguese whites. Saving room for excellent port with the Stilton. That can't change.

My Mednick pals, who are like my children, are staying home. Hard to imagine the babies they brought back to Chicago each year at Christmas are now Ivy League collegiate. They always made the feast filled with fresh warmth. Thirty years ago Ben was my City Hall intern. We have grown as family over the decades.

It is the doing of many small things with others that makes Christmas so grand for us. And the payoff of a warm cozy engagement around a table. Each dice of an onion. Each crush of a garlic clove sets the feast in motion and permits the magic of the vittles to speak the deeper words of religious mystery about the Nativity, about generations of family, and the continuous bonds of faith and hope. We see the love seated all around us.

Perhaps that is enough to off-set the damage that the self-absorption of the world squeezes from us. Perhaps that's why eating together is so important. It lifts us in the peace and harmony of the candlelight, in the fragrance and aroma of sauces thickening, and oven glow from a special meal in process.

That's why Christmas dinner is so recalibrating. Like the feasting we envy in "Christmas in Connecticut," with publisher Alexander Yardley or a rescued sailor. (My favorite Christmas film.)

Or the emotions of a tearful family like the Crawleys at "Downton Abbey," as the snow flies while the family entertains the tenants. But in truth for us always better in real, human, everyday life.



Maestro Rich Daniels and the City Lights Orchestra with Cardinal Blase Cupich.

Hosting others to abundance is a cherished human endeavor. It lifts us from the darkness and dim of the unfriendly terrain into which some of are plunged. But just like the soft fragile flesh of a newborn infant Messiah, we are swaddled back to life by the warmth of another's love. Or the aroma of their pot pie or pigeon soup. Or the crackle of a crisp duck's skin and the velvety texture of a Christmas pudding well-brandied. No matter what day of the week Christmas falls on. Or however fresh Miss Fogarty's Christmas cake might be.



Rob Stafford

**CARDINAL'S CHRISTMAS CONCERT:** Cardinal Blase Cupich was front and center in cardinal red for his Christmas musical at Holy Family Church on Roosevelt Rd. Maestro Rich Daniels and the City Lights Orchestra had folk lifted from their seats by the beauty of the lovely Christmas music.

**LADY LIBERTY:** Jackie Grimshaw, a Chicagoan of merit and wisdom, long a staunch contributor to the Mayor Harold Washington administration in the day, was honored recently for what she does best, encourage people to resolve the conflicts of living with Justice. She's still making Chicago a great place to live.

**BEGORRAH:** Congratulations to Bondgirl Diane O'Connell and financier Nick Kendellan recently elected to the Board of the Irish Fellowship Club of Chicago.

**NEWSY RETIREMENT:** Rob Stafford has been a long-time Chicago delight, especially at NBC5 where he was an essential anchor. And working reporter of 15 years at WMAQ and starting at WBBM Channel 2 in 1992. A trusted and respected media man, he announced his retirement, with last day on Dec. 23. The New Hampshire native spent 10 years at Dateline as well. We wish him abundant life.

**NEW BOOKSTORE:** A Lakeview couple has opened Three Avenues Bookshop on the Southport Corridor. The independent book store aims to be a community hub where neighbors can shop or gather for book talks, readings and other events.

**THE IRELAND FUND:** The 2022 black tie Chicago Dinner of the Ireland Fund honored Sister Rosemary Connelly, RSM, founder and still the great heart

for Misericordia Heart of Mercy, with its Humanitarian Award at the Four Seasons Hotel. For a life of ceaseless service to those in need, especially the developmentally challenged.

**WHAT THE FRICK:** The National Baseball Hall of Fame and Museum announced Cubs

radio play-by-play announcer Pat Hughes as the 2023 Ford C. Frick Award winner, which is presented annually to a broadcaster for "major contributions to baseball." Hughes, a 2016 and 2020 finalist for the award, joins Jack Brickhouse (1983) and Harry Caray (1989) as the Cubs announcers to receive the honor. Hughes recently completed his 27th season as the radio play-by-play voice of the Cubs. Now 'Let's win two!'

**THE EMMY GOES TO:** The Rev. Jesse Jackson received the Board of Governors Citation at the recent 64th Annual Chicago/Midwest Emmy Awards. Both he and wife, Jacqueline Jackson,

## CHRISTMAS see p. 8

- Ronald Roenigk *Publisher & Editor*
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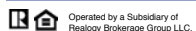
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(Left) Marly Schott of Edgewater and Rogers Parker Manuel Murillo shone brightly at Light up the Lake. (Center) The Dyson Corporate team out of the West Loop hit the bright lights of Navy Pier. (Right) Enjoying the Light up the Lake festivities were, left to right: Amber Isunza, her brother Josh and his baby daughter Everly, and grandma Donna Marquez, a chaplain for the Chicago Police Department.

## There's no place like home (and Navy Pier)



### Heart of the 'Hood by Felicia Dechter

Last weekend, I flew to Denver, to celebrate my father-in-law's 90th birthday. Although many people love Colorado and its Rocky Mountain high, I couldn't wait to wave Rocky Mountain goodbye.

I know I shouldn't compare everywhere I go to Chicago, but that's just how it goes for me. I just can't help myself. Many others do this too.

While there, my husband and I decided to drive about 45 minutes away, to a cool old place built in 1809, Indian Hot Springs, which are mineral baths in the town of Idaho Springs. During the ride, there was not much to look at... barren brown ground and brush in the foothills of the Rockies, except in a few spots where pine trees grow. And once we got to an altitude of about 7,500 feet, my head was light and it was hard to breathe.

We had flown in Friday and flew home two days later, on Sunday, because we've been there before and we always can't wait to get home. Once again though, as I visited another place, I was reminded of how magnificently-breathtaking our city is physically. There's nothing like our green parks and our shimmering lakefront and our iconic museums and attractions.

But I already knew that, especially after checking out Light Up The Lake at Navy Pier the night before we left. What a view of our insanely-grand skyline!

The pier itself is beautifully decked out in its finest Christmas dressings. And last week, the beauty of it all was on full display when Navy Pier's Associate Board held its annual fundraiser, Winter Paradise. Attendees were treated to delicious appetizers in Bar Sol, and admittance to the holiday light extravaganza, Light Up The Lake, which runs through Jan. 7. Be a tourist and go see it.

"Our fundraisers are very important to Navy Pier because we heavily rely on donations to help fund our annual budget," said Felicia Bolton, the pier's communications director. "This fundraiser is very important because it is put on by our Associate Board members. This not only provides an opportunity to raise funds; it allows attendees to meet these associate board members and network."

Donations go towards helping fund more than 250 of the pier's ACE programs [Arts, Culture, and Engagement]. These include: Chi Soul Fest, Navy Pier Pride, Wiggle Worms, Fresh Face, Water Flicks, LatinX, African American quilts, Live on the Lake and more.

"We try to do an annual fundraiser every year with the Associate Board," said Bol-

ton. "The theme may change but there is generally always one."

For those intending to check out Light Up The Lake, be sure to set your eyes on the gorgeous "crystal car" from the Klairmont Collections Automotive Museum. The 1983 Rolls Royce Silver Spur is topped with one million Swarovski crystals, each one painstakingly installed by hand.

Additionally, there's the debut of two new, massive interactive, high-tech art installations that are part of a partnership with the Quebec Government office here in Chicago. Optik, and Roseaux, are the brainchildren of the Québec-based Creos, a global firm dedicated to creating human connections through art and technology, while transforming public spaces into must-see experiences.

Roseaux, which is part of Light Up The Lake, is described as a playfully "particip'active" walk through a field. The installation is composed of 12 illuminated reeds that rise into the sky. You activate the reeds by stepping on sensors at their base, they rhythmically propel myriad colors up the stem.

Optik, centers around 10 illuminated 6-foot tall, gyroscope-like forms that reflect and refract light in ever-changing combinations when rotated. Located outside Navy Pier's main entrance at the fountain in Polk Bros Park and free to the public, Optik's colorful units encourage visitors to engage with the next unit in the sequence and other people within the space, sparking spontaneous conversations, dance parties, jam sessions, light shows, and a chance to see each and everyone's true color.

There's so much going on in this landmark space as Navy Pier continues new events and free programs for the holiday season. All I can say is, there's no place like home and I'm so grateful to live in such a glorious city with iconic, stately places such as Navy Pier.

Below are some more of the pier's upcoming festivities. I hope you can get there to enjoy one or more of them.

- The Coca-Cola Caravan and Polar Bear Photo Opportunity from 6 to 9 p.m. Dec. 17. A Coca-Cola semi-truck will be decked out in holiday lights and you can take a free pic with the legendary Coca-Cola Polar Bear while enjoying a free sample of coke products.

- On Dec. 18, Holiday-inspired breakfast favorites will be served at Harry Caray's Breakfast with Santa, while the kiddos take photos with Santa Claus. Break some bread with Ol' St. Nick while enjoying great fun and food.

- Barry Butler's stunning new exhibit, "Flow- Water Brings Life to Chicago" includes gorgeous photos with dramatic images of renowned Chicago staples. Find it between Kilwin's and Making History (garage doors 5 and 6). The images include a QR code where you can watch a video with more information about the photo. The exhibit runs through Dec. 2023 with

new works added from time to time.

- The Holiday Artisan Market has unique, locally-made gifts. Throughout December, enjoy one of the Chicago artist-led free workshops and learn to make a handmade gift for your special someone. Stop by the women's incubator space and check out local artist Cookie Kwan live-paint a lively, interactive mural.

- Visit the Amazing Holiday Maze, through Jan. 7. Enjoy holiday songs, decorations, and Christmas lights as you navigate your way through the Maze. See the lights take on special images with your very own pair of holiday glasses (included with purchase). Tix for the maze start at \$13 for adults. Kids four and under are free.

- Santa Claus is stopping by Offshore Rooftop's brunch to check on all the good girls and boys. Guests can meet "The Man

in Red," take pictures, and enjoy brunch in the atrium - a perfect reverse snow globe of Chicago and Navy Pier. The brunch includes a visit and performance from Santa Claus and a framed holiday photo with the big red guy.

- Arbor Lights is an interactive light art sculpture that you can control by texting commands from your phone. Create different parameters of color, shape, texture, and speed. While you try one prompt, have a friend do another and make art together. Offered daily at sunset on the South Dock near Margaritaville, it's free to the public.

- Party like its 1999 at New Year on the Pier at Aon Grand Ballroom, where opulence and indulgence will be on full display at the return of the New Year's Eve Countdown, an over-the-top celebration

**NAVY PIER** see p. 15

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# Holiday market outlook: Home buyers still have a chance for holiday cheer



The Home Front

by Don DeBat

Existing home sales on Chicago's North Side slumped again in November for the ninth consecutive month, a new analysis by Baird & Warner reported.

"Many buyers and sellers are staying on the sidelines, waiting for some stability," noted John Irwin, author of Baird & Warner's "December, 2022 Market Analysis" covering the neighborhoods of Near North, Lincoln Park, Lakeview and North Center.

"Rising real estate taxes, higher crime rates, stock market woes and inventory issues are all having a negative effect on the market," Irwin said.

"Demand is out there, but there are just not enough homes for sale," he noted. "There are real estate opportunities, and as the economy improves the market could rebound quickly. The question is when will the market rebound?"

The Baird & Warner analysis shows the following residential activity for November in the Near North, Lincoln Park, Lakeview and North Center neighborhoods:

- Home sales: Year-to-date

2022 existing home sales volume is down 13.2% when compared with the same period in 2021.

- Home prices: Year-to-date 2022 median home sales prices rose 3.8% over the same period in 2021.

- Market time: Year-to-date 2022 average market time plummeted 49.7% from 2021.

- Listing inventory: Year-to-date listing inventory levels are down a whopping 34% from 2021.

The survey showed the following median-pricing results for homes sold in the month of November, compared with the same month in 2021 in the four neighborhoods surveyed:

- Near North Side: Overall, resale home prices slipped 6.0%.

- Lincoln Park: Overall resale home prices fell 16.7%. However, the median price of homes in the \$500,000 to \$1-million bracket declined only 1.7%.

- Lakeview: Resale home prices declined 6.4%, while resale prices of luxury homes priced from \$1-million to \$2-million declined only 1.4%.

- North Center: Resale home prices rose a modest 1.1% in this hot neighborhood. However, the median price of luxury units priced at more than \$2-million dropped 19.3%.

North Side mortgage hunters still have a chance to avoid having a lump of coal stuffed into their Christmas stocking this year.

On Dec. 8, benchmark 30-year fixed home-loan interest rates

eased to 6.33% from 6.49% a week earlier, reported Freddie Mac's Primary Mortgage Market Survey. It is the fourth consecutive week rates have declined after peaking at 7.08% on Oct. 27. A year ago, 30-year fixed-rate loans averaged an affordable 3.10%.

"Mortgage rates decreased due to increasing concerns over lackluster economic growth," said Sam Khater, Freddie Mac's chief economist. "Over the last four weeks, mortgage rates have declined three quarters of a percentage point—the largest decline since 2008."

While the decline in rates has been large, unfortunately home-buyer sentiment remains low.

**OUTLOOK** see p. 15

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## Letters to the Editor

### Resources for the homeless in short supply

I find it incredibly frustrating that many of the pieces published in this newspaper, including other Letters to the Editor, seem to demonstrate a desire for our homeless neighbors to simply disappear.

People often complain about "abuse of public parks" when they see tents, to quote a West Ridge writer [Dec. 7]. While sleeping overnight in a park is illegal, it sure beats the street.

There's an old saying: "That smells dirtier than a garbage man's gloves!"

And the Lincoln Square parking lot and pot shop deals [Dec. 7] are stinkin' up the joint.

Even by Chicago Machine standards, Mayor Lori Lightfoot is ripe, well past her "sell by" date. While Ald. Matt Martin must bathe in moldy, musty government cheese.

Before 2019, Lightfoot never held an elected office nor even ran a City Department. She was at the top of the letterhead. Someone else handled the budget, logistics and day-to-day operations. Ask any assistant U.S. Attorney about her work ethic there.

Martin is taking a critical neighborhood asset and giving it away for free - with tens of millions of taxpayer dollars - to a connected out of town developer.

Who is going to cash in on all the stink?

The poor? No not really.

The disabled? No. No mention

Even before the pandemic, homeless resources (including space in shelters) were lacking. And with that, tent residents are homeless, obviously, so they aren't "camping," to quote the title of a piece from over the summer.

Working to kick these people out of public spaces at their most vulnerable moment, often because we find their suffering an eyesore, does nothing to help

### Something smells dirty

of accessible apartments in the sham presentation.

Families? No. How can a family with children live in a studio or one bedroom?

Connected developers and city hall fixers? Now you're getting a good whiff.

And how about the pot dispensary coming to Lawrence and Oakley? Near two preschools and a grade school? Hey, what's that skunky smell?

Is anyone from the Lincoln Square Ravenswood Chamber of Commerce or the Heart of Lincoln Square going to stand up for children's safety?

No? Didn't think so.

What will you do if someone you love gets shot in the crossfire of a shoot, grab and flee robbery?

Smell those blunts burning over on Giddings Plaza? Yes, they smell like money.

The weed business is all cash, and all cash businesses get robbed regularly.

them. That's so important it's worth repeating. Sending people to other parks or neighborhoods is not solving homelessness, and unless we institute actual solutions to the problem - like more space in shelters, permanent affordable housing, and expanding social services - neighbors will continue to sleep in the cold.

Tess Lacy, Rogers Park

Who will benefit from this stink of corruption? Just follow the scent.

If you said it will help Lightfoot and Martin, you win a three-day pass to the Riverview Amusement Park.

Let me give you a primer on Chicago Machine corruption.

The spouses of the principals of those connected builders and dope dealers will make extravagant donations to Lightfoot's and Martin's political funds. Persons who never made a donation of more than a thousand dollars to a church, children's charity or even Planned Parenthood will suddenly donate \$25,000 to a PAC supporting these candidates. Or another company they own, not the one getting the contract, makes a big donation.

And then my favorite, a not-for-profit hires their spouse for a no-work job at the same salary as the connected one's donation.

Read Ovid Demaris' book, "Captive City: Chicago in Chains." The Chicago Outfit perfected this technique. The Chicago Machine adopted it. Yes it stinks, but gosh it's profitable.

So voters, you have a choice. If you want to stop corruption from this third generation of the Machine then vote the stinky ones out.

If you want Chicago to get smellier, more expensive, more dangerous and more corrupt, reelect them.

It's your choice. Vote like your family's safety depends on it.

Mike Sullivan, Avondale

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## Nearly 7 months after an attacker set him on fire, Joseph 'Walking Man' Kromelis has died

BY CWBCHICAGO

Joseph Kromelis, lovingly known as Chicago's "Walking Man," died on Dec. 11, nearly seven months after an attacker set him on fire as he slept near Trump Tower. Kromelis was 75.

The Cook County medical examiner's office said Kromelis died at 4:08 p.m. at a care facility in the 2400 block of W. Touhy.

Prosecutors said in May that doctors did not expect Kromelis to survive the injuries he suffered when a man doused him with gasoline and set him on fire just before 3 a.m. on May 25.

*"The streets are his home; the place he has always felt at home until [the 2016 attack]," said Vytas Vaitkus.*

Kromelis was on fire for about three minutes before security guards extinguished the flames, Assistant State's Attorney Danny Hanichak said during a May 30 bail hearing for the man authorities said is responsible for the attack, Joseph Guardia, 27.

Hanichak, a prosecutor for 16 years, told Judge Charles Beach he had never seen video footage as horrific as the attack on Kromelis. There was no apparent interaction between the men before Guardia poured liquid, believed to be gasoline, from the McDonald's cup, onto Kromelis' head and lit it on fire, Hanichak said.

Nearly three minutes after the fire started, Trump Tower security guards saw the flames and extinguished the fire. They tried to comfort Kromelis while waiting for first responders.

In 2016, Kromelis was severely injured when someone beat him with their fists and a baseball bat on Lower Wacker Drive. He eventually recovered and once again began his regular walks through the streets of downtown. Crowd-source funding raised more than \$30,000 to offset his medical costs at the time.

"He has been walking and peddling on the streets of Chicago for at least the last 40 years," Vytas Vaitkus, whose mother was Kromelis's sister, told Loop North News in 2016. "The streets are his home; the place he has always felt at home until [the 2016 attack]."

His sister-in-law told the outlet that Kromelis moved to Chicago from Lithuania and grew up above a bar on Halsted St.

"When Joseph was 19 years old, his parents sold the bar and moved to Michigan. Joseph stayed in Chicago and sold jewelry and other items on the streets in the Loop," reported Steven Dahlgren.

# Chicago police struggle to address out-of-control holdup sprees, 76 since Dec. 2

BY CWBCHICAGO

At least 11 more armed robberies and carjackings were reported during two sprees on Sunday afternoon and early Monday across the near west and north sides of Chicago, according to Chicago police reports.

More than 76 similar armed robberies have been reported in sprees that have popped up almost daily in the same areas since Dec. 2. But the city and Chicago Police Dept. seem unable to end the crime wave, even after a concealed carry holder put one of the robbery crews out of commission.

According to Chicago police, Monday morning's robberies began around 3 a.m. in the 2600 block of W. Rice. Two armed men robbed a 42-year-old man at gunpoint as he exited his car.

Then, a string of similar holdups unfolded: At 3:18 a.m., a 42-year-old man was in his car in the 4300 block of N. Leavitt when four men pulled up in a silver sedan and robbed him of his phone and wallet at gunpoint.

Around 3:45 a.m., a 36-year-old woman was robbed while walking in the 3100 block of W. Grace. Three armed men pistol-whipped her, took her property, and fled in a silver vehicle. The woman was taken to Advocate Illinois Masonic Medical Center

for treatment.

Moments later, a 20-year-old man was robbed at gunpoint by three men in the 2400 block of W. Berwyn in Lincoln Square. The offenders rifled through the man's car, then escaped in a silver vehicle.

Three men robbed another man at gunpoint in the 2100 block of W. Granville around 3:50 a.m. Then a McDonald's employee was robbed outside the restaurant in the 4500 block of N. Kedzie around 3:52 a.m.

At about 3:53 a.m., three armed men robbed a man who was unloading his vehicle in the 3100 block of W. Leland. One of the robbers punched the victim in the face before the group fled in a silver sedan.

A man and woman were robbed as they got into their car in the 2300 block of W. Superior around 4 a.m. The offenders escaped in a silver sedan.

The robbery crew used a stolen Hyundai that had a broken rear side window during each of the holdups, according to a law enforcement source. That car was found abandoned in East Garfield Park around 4:30 a.m.

More robberies were reported on Dec. 11, according to CPD records: A group of about five people robbed a woman and a man at gunpoint in the 3000 block of W. Grace around 2:20 p.m. Two car-

loads of robbers mugged at least two victims in the 800 block of N. Oakley around 2:45 p.m. Both of the cars used by the robbers were stolen Hyundais with broken side windows.

At about 9:20 p.m., a man was carjacked of his 2022 Honda in the 200 block of W. Race. The offender put an object, possibly a gun, to the victim's stomach during the hijacking. Accomplices followed the carjacked vehicle in a black SUV.

Chicago police have struggled to control a wave of robbery sprees that have popped up on an almost daily basis since Dec. 2. About 15 holdups were reported in the areas from the evening of Dec. 9 through sunlight on Dec. 10. On Dec. 8, seven robberies were committed.

Chicago police said in a community alert that holdups were reported Dec. 7 on the 2400 block of W. Fullerton Ave. at 2:08 a.m.; 1500 block of N. Ashland Ave. at 2:54 a.m.; 2700 block of W. Augusta Blvd. at 3:05 a.m.; 1500 block of N. Western Ave. at 4:15 a.m.; 2700 block of N. Central Ave. at 4:21 a.m.; 4000 block of N. Central Ave. at 4:42 a.m.; 5300 block W. Berenice Ave. at 4:44 a.m.; 5200 block of W. North Ave. at 5:00 a.m.; 2300 block of W. Rice St. at 5:30 a.m.; 3100 block of W. Division St. at 5:44 a.m., and on the 1600 block of N.

Cicero Ave. at 6:20 a.m.

Six similar robberies were reported further west on Dec. 6.

At least seven robberies occurred Dec. 5 in and near Wicker Park. A car used in some of those robberies was also used a short time later by four people who tried to rob a concealed carry holder. He shot three of the offenders, and prosecutors filed charges in the case on Dec. 7.

In two other community alerts, Chicago police linked 21 more armed robberies across the area.

The crews have consistently been described as Black males in their teens or 20s who wear ski masks and dark clothing. Each team has three or four members traveling together.

On Nov. 25, at least nine robberies were reported during daylight robbery sprees in West Town and West Ridge. Four days earlier, three similar robberies were reported in Humboldt Park, Wicker Park, and Logan Square.

On Nov. 19, a string of robberies and hijackings were reported from West Ridge to the Loop. And on Nov. 17, a group of six to eight male and female offenders traveled in two cars to carry out a series of robberies and carjackings that stretched across the north and northwest sides.



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# Police Beat...

**Purse thieves speed away from Chicago cops in a stolen Tesla**



Chicago police officers order occupants out of the Tesla moments before it speeds away.

A couple of purse thieves stared down Chicago police in the Loop on Dec. 6, then sped away in a stolen Tesla. And a reader caught it on video.

Just after 2:30 p.m., two men stole purses from women who were dining at Urbanspace, a food hall at 15 W. Washington, according to witnesses.

The video shows the men climbing into a black Tesla right outside Macy's on State St. as two Chicago police officers try to stop them.

The officer on the driver's side bends down to pick up one of the stolen purses from the pavement just before the Tesla drives away.

The cops order the Tesla's occupants to put their hands on the dashboard, and one of the officers has his gun drawn, but the Tesla's driver speeds away as backup units arrive. He turned west on Randolph St. with a police car right behind him. CPD radio transmissions show that the police stopped following the Tesla after the driver ran a red light at LaSalle.

According to CPD records, the Tesla was stolen from the Roseland neighborhood on Nov. 9. Witnesses said the thieves are two Black males between 20- and 30-years-old. One of them was carrying a Potbelly sandwich bag.

Similar thefts of phones, wallets, and purses from restaurant patrons have been picking up across the city.

In late October, a theft team struck the dining room at Labriola on the Magnificent Mile. Last month, a slick

two-man team stole a woman's purse from a Wicker Park taco shop.

## **Loop attacker hit a pedestrian in the head with a hammer**

A 53-year-old man is recovering after being struck in the head with a metal object, possibly a hammer or crowbar, while walking in the Loop on Dec. 8, according to a Chicago police report.

Officers were initially dispatched to reports of a man walking around River North with a hammer, apparently after stealing it from a tool cart at a hotel near Michigan Ave. around 9:45 a.m.

The police could not locate the man, and the hotel did not want to file a theft report, so the matter seemed resolved.

That is, until shortly after 11 a.m., when an unknown man struck another man in the head as he walked on the first block of W. Madison, a CPD spokesperson said.

"I was just outside my office on Clark and Madison," a witness wrote in a message to this reporter shortly after the attack. "Guy comes from behind and hits a man in the head with a sledgehammer and walks down the middle of the road like nothing happened."

An officer who happened to be in the area radioed for an ambulance to attend to the man, who was bleeding from the head. EMS took him to Northwestern Memorial Hospital where his condition stabilized, according to the police spokesperson.

Other people in the area also reported a man threatening pedestrians with a hammer, but no injuries were reported.

One officer at the scene said the suspect was "walking around with a big hammer." Another said the man might also have a crowbar.

Police searched the area for the attacker without success. CPD's spokesperson said no arrests had been made as of this writing.

The offender was described as a Black male standing about 5'-9" tall who wore a dark coat over a green hoodie.

## **Three women mugged by man who escapes in a U-Haul truck**

Three women, including a 72-year-old and a 62-year-old, were mugged last week on the North Side by a man who escaped in a small U-Haul box truck. After robbing the women, the offender quickly drives to a store, usually Target, and uses the victim's

credit cards to buy merchandise and gift cards.

All of the robberies have occurred near the lakefront, between Lakeview and Edgewater.

First, the robber approached a 62-year-old woman from behind and took her purse in the 600 block of W. Bittersweet around 11:32 a.m. Dec. 5, police said. The woman fell to the ground but was not injured.

According to a police report, her credit cards were used within minutes at the River North Target, 630 N. LaSalle.

On Dec. 6, the same scenario played out twice.

Around 1:30 p.m., a 72-year-old woman was standing near a vehicle in the 5900 block of N. Kenmore when a man walked up behind her and took her purse and bag, police said. Once again, the robber escaped in a U-Haul truck that headed toward Sheridan Road.

Then, around 9:39 p.m., a 49-year-old woman was targeted in the 3000 block of N. Pine Grove. According to the police, a man approached the woman from behind and demanded her possessions. She fell to the ground as they fought over her purse, but the man eventually got it.

A witness chased the robber until the offender slipped into a smaller U-Haul box truck in an alley and headed toward Sheridan Road. Once again, the victim's credit cards were used at a Target store shortly after the robbery, a CPD document said.

The first robbery involved a robber described as a Black male who stood about 6'-1" tall and was wearing a red hoodie and gray vest. No description was available for the second incident. On Pine Grove, an officer at the scene said the offender was a Black male who stood about 5'-11" tall and wore a puffy gray jacket and a mask.

## **Man grazed by gunfire in North Center**

A North Center man was grazed by a bullet when a gunman opened fire on his car Dec. 9. The offender remains at large.

The 30-year-old was in his car in the 2100 block of W. Montrose when another car stopped near him, and someone began shooting at him from the other vehicle, Chicago police said.

One bullet grazed the victim's right arm. He drove to his nearby home and called for help. CPD said the victim declined medical attention.

Investigators said they found three shell casings at the scene. An officer described the gunman as a Hispanic man between 25- and 30-years-old with a thin mustache. He wore a gray winter cap with a white hoodie pulled up and traveled in a white Audi SUV, the officer said.

According to the City of Chicago Violence Reduction Dashboard, five people have been shot in North Center so far this year. The neighborhood had six persons shot at this point last year, including a homicide that authorities deemed to be justified.

## **Rogers Park business owner shot intruder while working late**

An insurance agent working late in his Rogers Park office shot a four-time felon who broke into his business last week, prosecutors said as they filed charges against the accused man on Dec. 8.

The victim was still working at 1:45 a.m. on Dec. 2 when he grabbed his gun to investigate a loud banging noise at the back door of his office in the 1900 block of W. Howard. He encountered a man he did not recognize and fired several shots, officials said, and the burglar ran out the back door, which had been removed from its hinges.

Prosecutors said the business own-

er told police that he thought he had shot the intruder, and police searched the area for the burglar.

About an hour later, a 911 caller reported that a man claiming to be shot was knocking on their front door in the 7600 block of N. Rogers, about a mile away.



Andre Shearer

Chicago police went to the scene and found Andre Shearer, 52, bleeding from a gunshot wound to his hand. Shearer is bald and was wearing a winter coat with fur around the hood and a jersey bearing the number 4, just like the burglar, prosecutors said.

When cops asked Shearer what happened to his hand, he mumbled and then claimed that he shot himself, according to prosecutors.

Officials said that surveillance video at the nearby Howard CTA station showed Shearer wrapping a rag around his right hand in the train station vestibule shortly after the burglary.

He was taken to St. Francis Hospital in Evanston for treatment.

Prosecutors charged him with burglary and two felonies for possession of narcotics because police allegedly found cocaine worth \$3,000 and \$100 worth of heroin in his book bag. Shearer's criminal history includes an identity theft conviction in 2018 and burglary convictions in 2000, 2008, and 2013, according to prosecutors.

His public defender brought up the fact that the victim couldn't pick Shearer out of a group of photos. But Judge Maryam Ahmad said Shearer's gunshot wound and the video evidence were also relevant.

She ordered Shearer to pay a \$600 bail deposit to go home on electronic monitoring. Separately, she held Shearer without bail for violating bond in a pending felony narcotics matter.

## **Concealed carry holder shoots two men during possible auto theft in the Loop**

A concealed carry holder shot two men during an exchange of gunfire in the heart of Chicago's Loop on Dec. 10. It's at least the third time in about a week that armed citizens have shot suspected offenders during the commission of crimes.

The victim was walking to his car from the Cambria Hotel, 32 W. Randolph, when someone fired shots at him from a red SUV, according to Chicago police. He returned fire, and the SUV sped away. Meanwhile, another offender who was inside the victim's parked car got out and ran from the scene. Officers said the offenders left a tool and a phone near the victim's car.

Moments later, a red Jeep arrived at Northwestern Memorial Hospital at about 4:20 a.m., and a 26-year-old man walked into the emergency room for treatment of a gunshot wound to his knee, according to an officer at the scene.

Officers said the Jeep, which had damage from bullet holes, was abandoned at the hospital emergency bay. Two ammunition magazines were found lying on the ground about 20 feet from the Jeep.

At about the same time, a 24-year-old man walked into Lurie Children's Hospital with a gunshot wound to his right buttock, officers said. He was transferred to Northwestern.

Both of the injured men are in police custody while undergoing treatment.

On Dec. 5, a concealed carry hold shot three people who tried to rob him as he sat in his vehicle, authori-

ties said. Prosecutors have charged an adult and two juveniles with that crime. The driver of the crew's getaway car remains hospitalized in critical condition with a gunshot wound to his head, according to prosecutors.

On Dec. 2, a Rogers Park business owner shot an intruder who broke through his office's back door while he was working late. Charges have been filed against the alleged burglar.

## **Hate crime charge for man who allegedly scrawled 'Fake Jews' on West Ridge library displays**



"Then and Now: 10 Decades of Jewish Community in West Rogers Park." debuted on Oct. 23 at the Northtown Library, 6800 N. Western Ave. Inset: Eugene Warren.

On Dec. 7 prosecutors filed hate crime charges against a man who allegedly defaced a Jewish history exhibit at a Chicago Public Library. But the man's defense attorney says the man's graffiti may have been "a historical claim potentially about who the real descendants of the 12 tribes of Israelites are."

The Chicago Jewish Historical Society and Jewish Neighborhood Development Council collaborated on the exhibit, "Then and Now: 10 Decades of Jewish Community in West Rogers Park." which debuted on Oct. 23 at the Northtown Library, 6800 N. Western Ave. It features 14 displays about Jewish life and community in Chicago.

On Nov. 20, surveillance video showed Eugene Warren, 46, stepping away from a computer at the library and writing "Fake Jews" on one of the displays with a pen, Assistant State's Attorney LeRoy Martin III said. Library employees discovered the defacement the next day and saw similar writing on a bathroom sign that said, "Black Brown Yellow Jews, not White Europeans."

Martin said library staff discovered another display photo defaced with the words "Fake Jews" in the same handwriting on Dec. 5. When Warren returned to the library later that evening, library employees called the police.

Officers detained Warren, who allegedly told them he was exercising his freedom of speech. He also admitted to writing "Fake Jews" on the displays, but he said he could not be charged with the bathroom sign incident because there were no cameras in the bathroom, Martin alleged.

Warren, who served time in 2017 for defacing a church or school and in 2010 for aggravated battery to an unborn child, is now charged with hate crime and institutional vandalism.

But Assistant Public Defender Matthew Shepard, who said Warren is separated from his wife, attends mosque, and works full-time as a baggage handler at O'Hare, offered a much different view of the state's allegations.

"There's no threat of imminent violence. This wasn't done at a synagogue or a place of worship. No antisemitic symbolism was done,"

**POLICE BEAT** see p. 12

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## No. 17 Mount Carmel defeats DePaul Prep 42-41



Mount Carmel's junior forward Angelo Ciaravino defended by DePaul Prep's Maurice Thomas and Makai Kvamme.

BY JACK LYDON

The DePaul Prep Rams lost to Mount Carmel Caravan 42-41 at Mount Carmel on Dec. 9. The Rams are now struggling through an uncharacteristic three-game losing streak in the Chicago Catholic League's Blue division.

The Rams (4-3, 0-3) opened the game outscoring the 17th ranked Caravan (7-1, 2-0) five to zero. The Caravan then went on a 10-0 run to close the quarter. They would hold the lead that eventually dwindled to a single point at the buzzer to survive a young and injured Rams team.

The early run by the Caravan was aided

by some sloppy Rams ball handling. "They picked us up a little bit, trapped us a couple times when we were lazy with the ball. We have bad habits in practice right now in passing. They are leading to the game," said Rams head coach and former DePaul Univ. star Tom Kleinschmidt.

The young Rams start three sophomores, center Jonas Johnson, guard Makai Kvamme and guard Rob Walls, one junior, PJ Chambers and one senior, guard and leading scorer Maurice Thomas.

Out with injuries for the moment are junior standouts and returning starters Payton Kamin and Jaylan McElroy.

Despite the Rams having two of their best players off the court, they opened the season 4-0 winning the Battle of the Bridge Tournament hosted by DePaul Prep along with Lane Tech. Catholic League Blue conference play has been a different story. Coming into this game, the Rams were on a two-game losing streak in the conference play dropping games to St. Lawrence and DeLaSalle.

There are encouraging signs for the Rams. Mount Carmel's transfer Lee Marks emerged as a force for the Caravan at last weekend's Chicago Elite Classic. The

DEPAUL see p. 12



Dakotah Earley takes a step with his new prosthesis in a video released by his mother on Dec. 6. Photo courtesy Joy Dobbs

## Dakotah Earley tries out new prosthetic leg — seven months after robber nearly killed him in Lincoln Park

BY CWBCHICAGO

Dakotah Earley is making moves.

Chicagoans have been cheering for the young culinary student since a gunman nearly killed him during a brutal street robbery in Lincoln Park that was caught on video seven months ago. He was on the brink of death after the shooting, underwent a dozen surgeries, and lost his left leg to complications from the injuries he suffered.

His mom, Joy Dobbs, spent weeks at his hospital bedside. And on Dec. 6, she tweeted a video of Dakotah taking steps with a new prosthesis.

"I am so overjoyed, and I just wanted to share this with everyone who has been there for us through this journey," Dobbs wrote. "#DakotahEarley is walking. This is a test prosthesis but omg."

Earley turned 24 less than three weeks after the shooting. At the time, his family told supporters, "a couple weeks ago, we

DAKOTAH see p. 15

## Amundsen High moves up in Division, meets the challenge

BY JEFF ZIMMERMAN

The Amundsen High School boys' basketball team started out last season losing six straight games. The slow start stressed out head coach Nicholas White who has no choice but to make some adjustments by the start of the new year.

White's changes seemed to turn around his team in the second half of the Vikings season when they won 11-of-12 games leading to a respectable 18-9 season.

This year Amundsen stepped up to the stronger White Division, and after three weeks Amundsen is 6-1, and 3-0 in the Division.

"I didn't want a repeat of a poor start from last year," said White, but during spring and summer we worked hard by playing in some tournaments. I had an idea that we could be a pretty good team."

Amundsen played four games in the Northridge Thanksgiving Tournament winning three of four games and tied for first place.

December brought on White Division competition with Amundsen defeating Mather, Schurz and on Dec. 9 the Viking defeated Von Steuben (65-49) before a packed house at Amundsen.

The Panthers (3-3, 1-2) were led by 6'-10" center Kevin Anthony who scored 22 points in Von Steuben's 81-17 victory over Sullivan on Dec. 7. But in this game Von Steuben never did lead. The Panthers trailed 14-10 after the first quarter. Anthony was a big factor in the quarter when he intimidated the Viking shots inside the paint with a shot blocking ability.

"We planned to get their big man in foul trouble in the first half," White said, "but when the second quarter began Von Steuben coach Williams had him sitting on the bench."

Amundsen in the second quarter began to drive to the basket for some easy lay-ups outscoring Von Steuben 20-12 to take a 34-22 lead at the half. Von Steuben without Anthony in the third quarter fell behind 44-28 led by the three-point shooting from Ray Beck and the inside scoring from O'tice Lewis.

The Panthers after three quarters trailed 50-35 when Anthony reappeared at the start of the final quarter. His presence gave the Panthers a huge spark outscoring Amundsen 11-2, with 4:05 left they trailed 52-46.

Viking Senior Russ Anglada was held to six points through three quarters, but erupted at the right moment by scoring

seven consecutive points to increase the Amundsen lead to 59-46.

Anglada ended up scoring 13 of the Vikings 15 points in the fourth quarter to seal up the win.

"I'm happy with the win but we wound up with 15 turnovers and that was far too much," admitted White. Russ came through when we needed it the most. He has been a team leader for us and a fine athlete."

Anglada led all scored with 19 points, Lewis at 15 and Tiron Randal 10. Randal through seven games, had been the Vikings leading scorer and last week at Schurz had a 26-point performance.

"Randal as a junior, saw very little playing time," White said. "He worked very hard over the spring and summer and worked his way into the starting lineup. Tiron against Von Steuben was plagued with fouls and ended up with partial playing time but still ended up scoring in double digits."

Next up, Amundsen will be home against Sullivan, and Friday for a 5 p.m. start at Senn High in Edgewater.



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**CHRISTMAS** from p. 2

were looking good.

**WINNER:** Streeterville writer **Richard Rose** was presented the Jury Special Mention Feature Length Fiction Award for his work on "The Static Movie" at the 2022 Chicago International Indie Film Fest in November. Shown on the big screen at the awards ceremony, Rose was accompanied by his wife **Kay, Lisa** and **Kendrick Simmons**, and actors **Daniel S. Janik, Eriko Okada,** and **Set-suko Tsuchiya**, who came all the way from Hawaii.

**COOL HOLIDAY SOUND:** On Dec. 21 **Michael Lerich** and band will be at The Alley at Carnivale, 702 W. Fulton, and promises to be a beautiful program of instrumental versions from the Frank Sinatra/Jobim album. With a little **Stan Getz** style thrown in. A true musical experience.

**BIRTHDAY JAZZ:** Belated Happy Birthday to our Chicago star **Barb Bailey** who opened with two shows on her birthday with an all new exciting crew of talent at Jazz Showcase on Plymouth. **Julia Jacobs** was cocktail pianist. **Tim Borden** was on hand to guest sing. What a night.

Reviews of Barb's show at Jazz Showcase are as loving as they are emphatic about a memorable songfest of bright savvy entertainment as only Barb, the veteran pro, is able to muster. All agreed, she wrapped her listeners in a mellow cadence and style in which the traditions of American jazz had the final word. She always carries fans to new musical heights.

**WHIM:** Stage 773, at 1225 W. Belmont Ave., introduces Chicago's hottest new destination, WHIM, an immersive walk-thru experience that invites guests to partake in a whimsical night out inside a world where every art form comes together - paintings, music, sculpture, street art, and live performance. Opening in January, showtimes are every half hour. Go see it for yourself.

**SEE PARIS:** One time WTTW reporter, **Paris Schutz**, is a talented and serious musician these days. "The Fifth Quarter," his own composition, is now on YouTube. Give it a listen.

**IRISH CHRISTMAS:** My doctor has me still observing some restrictions of the pandemic, so I took a pass on this year's Irish Fellowship Club's Christmas lunch. I could not squeeze into the Grand Ballroom at the Hilton filled with 1400 people. He said that was looking for trouble.

It was a record number of luncheon guests for the club. **Mauraen Gainer Reilly** and sister, **Sheila Gainer**, trading stories with buddy **Dan Kirk**... also present there was **Sister Jean Dolores Schmidt, BVM**, ev-

eryone's favorite, not far from former Chicago Police Comish **Garry McCarthy** snapped with **Betsy Shepherd**, as was **Marty Mullarky**.

**THE DRUDGE:** In their youth the members of the Drudge were Glee Clubbing it among the Ivy League creating a stunning sound. And now in later life they emerge and are still coming together in an Ivy Stew to sing especially at Christmas, as they did recently in top hats at the Chicago History Museum. Always great to see and hear these Chicago grandees.

**WHO'S WHERE:** Gathered for pre-dinner drinks at the Ireland Fund Black Tie Dinner were **Ted Ahern, Katie Keogh, Colleen Kelly, Katie Fitzpatrick, Nora Walsh, Pennie Taylor** and **Eamonn Cummins**... **Bill** and **Kathy Bell Bartholomey** at Cape Haze Marina, Englewood, FL, fixin' things up... **Cynthia Olson** at the Raquette Club Centennial... so sad, **Michael Feingold** has died at 77, Village Voice theater critique and Chicago native... Condolences to dear **Peggy Snorf** on the death of her nephew/godson, **Dr. Schuyler W. Henderson**... Celebrating **Jason Robin's** 36th birthday as he also made partner at his law firm... congrats to judicial candidate **Dan Balanoff** on yet another birthday and celebrating at Bavette's with **Adam Schlesinger**... Gibson's **Peggy O'Ryan Lombardo** leading a group of friends to the Misericordia Christmas Fete... congrats to **Sheila Kennedy** on her birthday and a back pat for all the good that Top Box does for those needing food... **Jolanta Ruege** sparkling near the Union League Lobby Tree on her way to the Service Club Christmas Lunch, not far from lovely **Candace Jordan** and glittery **Liz Teasley, Bobbi Panter, Sheree Schimmer** and **Shaun Rajah** in fab tartan trousers... **Carolyn** and **Dave Richter** in LA sipping sangria, but also making it to Paul Brown Stadium for the Bengals game.

**OAKBROOK POLO CLUB:** Just heard of the untimely death of professional polo player and father of three, **Del Walton**. Del was a familiar face among the Chicagoland polo community. Our condolences go out to the Walton Family. Especially his wife **Tessa** and three boys.

**CHICAGO FOOTBALL:** Former reporter **Anne Kavanaugh** went all the way to NYC only to see the Bears lose to Green Bay. While her Brooklyn son **Connor** and **Skyler** find the only Packer bar in the Big Apple. "My son has always been a big Packer fan. I still love him."

**CHRISTMAS AT EDGEWOOD VALLEY CC:** All the glamor gals seemed to be in red at Edgewood Valley Country Club, in Burr Ridge, for a Christmas Gala. I spotted **Sherrill Bodine, Sherry Lea Fox, Sheree Schimmer, Denise Tomasello, Lauren Lein Cavanaugh** and more.

You know you've had too much to eat for Christmas dinner when you slump down into a beanbag and realize ... there is no beanbag.

-- David Letterman  
tog515@gmail.com

INSIDE PUBLICATIONS



Rev. Jesse Jackson and wife Jacqueline Jackson.



Anne Kavanaugh (center) with Connor and Skyler.



Sister Rosemary Connelly, RSM



The Dredge



Pat Hughes



Cynthia Olson



Dan Balanoff and Adam Schlesinger.



Shaun Rajah



Jason Robin



Sheila and Chris Kennedy.



Ted Ahern, Catie Keogh, Colleen Kelly, Katie Fitzpatrick, Nora Walsh and Pennie Taylor and Eamonn Cummins.

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# Edgewater community leader dead at 59

Raymond Nihlean believed in the goodness of every person, and the Edgewater community is better for it. Nihlean died last week from brain cancer at age 59.

His efforts resulted in improvements in people's lives. He was a landlord with heart, said community activist, Clare Tobin. "He helped residents through the pandemic. He and his team connected renters with programs such as rent grants and resources for food."

For one elderly tenant in particular, after finding supportive senior housing and 24/7 caregivers, Raymond even made funeral arrangements with her pastor.

And when a wayward teenager threw a rock that dented his classic 1975 Lincoln Town car, he called the school instead of the police. When Nihlean learned the boy had a court date, he accompanied him.

The young man received probation instead of a sentence.

A community tribute to Nihlean is the mosaic 'bricolage' at the gateway to the Bryn Mawr Historic District. He brought the student artists lunches and treats, as well as donated money and materials.

Raymond and his wife Tina's wedding photo is memorialized in the art wall too, forever sharing their joy and love.

Throughout his six years and three months survival with brain cancer, friends say he never lost his humor, his optimism, or his zest for life. "Every day is precious, each moment was the only moment we were sure that we had," said Tina. "In the hospital, we created our own world with natural sounds of birds singing and falling water. The smell of lilies would fill the room. We were content. Patient through the pain



Raymond Nihlean

and the healing process, attentive to the details, giving and receiving kindness, hopeful."

On his final day, he and Tina were looking out of his hospital window at the place by the lake where he proposed so many years ago. Then, with a smile on his face, he took his last breath.

He is survived by his wife, Tina Travlos Nihlean; sister-in-law Elaine Travlos; brother Damian Nihlean; sisters Mary Henry and Juli Harmon; nephews Samuel Henry and Bentley Aiden Joyner; nieces Colleen and Amanda Nihlean; cousins Suzanne Cosgrove, Linn Nihlean and Cathy Kubo; his service dog Baby Ray and many more family members, friends, and colleagues.

Nihlean mentored many young people helping them build creativity and self-confidence. At neighborhood events, kids and grown-ups alike delighted in his convertible King Midget, a tiny red racing car with headlights that squirted water.

Tina recollected how excited

Raymond was when heavy snow fell. He had such fun riding his red ATV snowplow over two miles of sidewalks and alleys so neighbors could safely reach shops and public transit.

"I always heard from neighbors how much they loved Raymond. Some didn't know his name, but they loved him because he plowed their sidewalks. They never asked, he was just always there with love

**Former 48th Ward Ald. Mary Ann Smith, recalls that his \$35,000 donation "was the lynch pin that got city funding for Northwestern University's Kellogg School of Management training program. It was attended by local business owners who wanted to take their company to the next level."**

and joy in his heart," according to former State Sen. Carol Ronen. For 15 years, he was a familiar early morning Good Samaritan.

Former 48th Ward Ald. Mary Ann Smith, recalls that his \$35,000 donation "was the lynch pin that got city funding for Northwestern University's Kellogg School of Management training program. It was attended by local business owners who wanted to take their company to the next level."

He was a philanthropist who continued to provide resources to help other entrepreneurs, including the Edgewater Uptown Build-

ers Association [EUBA] and other community organizations. "[He] was always generous with his time and resources and always knowing when and how to pitch in to fill a need. He personally provided and engineered state-of-the-art sound and visual equipment to help people communicate more effectively," said Jim Byrne, past EUBA president. "[He] was truly a prince of a man."

His bravery inspired his medical team. "Ray [is] an example to my staff and patients what support and advocacy can do," remembers Dr. Samman Shahpar, of the Shirley Ryan Ability Lab. "Put aside whatever you know about brain injuries, because there is Raymond." To Dr. Jeffrey Raizer, neuro-oncologist at Northwestern Memorial Hospital, "Raymond was indeed an inspirational person who fought hard against his Glioblastoma and by all measures Raymond had a wonderful life up until his passing."

**Gene Lyman, dead at 88**

Eugene 'Gene' Lyman, a Ravenswood and Uptown area community activist, also died last week at 88, at the Admiral by the Lake in Uptown.

He operated his own public relations firm, E.W. Lyman and Associates, most of his adult life. Prior to that he worked at Lehman

Brothers. He graduated from Wabash College and holds an MBA from Harvard Univ.

He was a former president and longtime member of the Publicity Club of Chicago, was a board



Eugene 'Gene' Lyman

member of the Uptown Commission, and volunteered for many community efforts with Truman College, the South Andersonville Neighbors, Winnemac Block Club, and Ravenswood-Lakeview Historical Assoc.

Gene was also an active member of the Chicago Bible Society and Ravenswood Presbyterian Church.

Memorial services will be held 11 a.m. Wednesday, Jan. 4, 2023, at Ravenswood Presbyterian Church, 4300 N. Hermitage Ave.

Lyman is survived by his sister Stella Taute.

**Webster Ave. Bridge opening delayed again**

The opening of the Webster Ave. Bridge over the Chicago River has been delayed another week. The new projected opening day for the Webster Bridge is now on Dec. 19.

The opening of the bridge and adjacent sidewalk will happen, promise.

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# LEGAL NOTICE

## COOK COUNTY REAL PROPERTY ASSESSMENTS FOR 2022

This publication constitutes official notice of the changes in assessment to all owners of real property in Rogers Park Township. The 2022 assessment changes as published herein are those determined by the Assessor of Cook County.

It is the duty of the Assessor to appraise all taxable real property in Cook County at its fair cash value as of January 1, 2022. Fair cash value is described as what the property would bring at a voluntary sale in the normal course of business or trade. The Assessor is required by law to assess said property in a fair and just manner.

The Assessor does not determine property taxes. Property taxes are determined by the spending needs and requests of municipalities, school boards, park districts and other local government agencies which provide public services to property owners. The Assessor's sole responsibility is to estimate the value of real estate property.

In Cook County, real property is classified according to its use. The classification system is used to determine the percentage of the fair cash value at which the real property is assessed for purposes of taxation. Accordingly, real property is assessed at only a fraction of its fair cash value, depending on its use and classification.

Changes in assessment for land and improvements are listed separately. The dimensions of the land are also listed:

- A - Acres
- B - Back Lot
- N - Irregular Lot
- S - Square Feet

Cook County uses a Permanent Index Number (P.I.N) system as a means to identify individual real estate parcels. The PIN consists of a 14-digit number. The first two digits identify the area or survey township; the second two digits identify the sub-area or section; the next three digits identify blocks.

NOTE:

Blocks are defined as follows:

- Blocks 100 to 199 are located in the N.W. Quarter
- Blocks 200 to 299 are located in the N.E. Quarter
- Blocks 300 to 399 are located in the S.W. Quarter
- Blocks 400 to 499 are located in the S.E. Quarter

The next three digits in the series identify the specific parcel or lot. The last four, (where applicable), identify individual condominium units, non-operating railroad parcels or leasehold's of exempt parcels.

Whenever possible, the assessment list will be listed by the street name and the street or house number of the parcel. However, the Cook County Assessor's Office official records rely on permanent Property Index Numbers (P.I.N.) only. No assessment of real property shall be considered invalid due to an incorrect listing.

If you have any questions regarding the assessment of real property you should visit the Office of the Assessor of Cook County, 118 N. Clark Street, Room 301, Chicago, Illinois 60602, or call (312) 443-7550.

### FRITZ KAEGI ASSESSOR OF COOK COUNTY TOWNSHIP OF ROGERS PARK

BLK.	SIZE	LAND	IMP
AREA 10 SUB AREA 36			
ABC CONSTRUCTION & HEA	322 040 1001	4331S	2064
ABC CONSTRUCTION & HEA	322 040 1002	4331S	2255
ABC CONSTRUCTION & HEA	322 040 1003	4331S	2346
ABC CONSTRUCTION & HEA	322 040 1004	4331S	2428
AREA 11 SUB AREA 29			
CURRENT OWNER	315 024 1062	21832S	2330
"INTEGRITY 8, LLC"	317 053 0000	20999S	37798
AREA 11 SUB AREA 30			
7616 MARSHFIELD LLC	218 034 0000	15154S	33369
"BCHFargo, LLC"	311 028 0000	19060S	34308
AREA 11 SUB AREA 32			
CHICAGO TITLE LAND TRU	104 040 1001	6325S	2780
CHICAGO TITLE LAND TRU	104 040 1002	6325S	2713
CHICAGO TITLE LAND TRU	104 040 1003	6325S	2713
CHICAGO TITLE LAND TRU	104 040 1004	6325S	3178
AGE LUNT LLC	109 023 0000	19907S	35832
WILLIAM COVACI	115 028 0000	23835S	42903

NO.	SIZE	LAND	IMP
ALBANY AVE			
MOSHE LEVOVITZ	6539	4375S	8750
ALBION AVE			
ANNABELLE M EDON BALDW	1052	7800S	17160
KENNETH MERLE	1127	7400S	16280
Albion Hotel	1209	24000S	42900
ALBION HOTEL	1209	24000S	42300
MICHAEL J HOGAN JR TRU	1414	2250S	4725
PADMAJA PILLAI	1731	5400S	9720
MIRZA BAIG	2848	5175S	10350
TAXPAYER OF	2940	5148S	10296
ARTESIAN AVE			
FARHAN INC	6438	3750S	7500
MIRAD BISER	6453	9750S	14381
TSEGAJ SILE	6500	5000S	10000
MICHAEL E MAHER & NANC	6527	3750S	7500
EDUARDO CHAVEZ	6539	4687S	9374
TANYA GARCIA	6646	4125S	8250
AZZA INVESTMENT SERIES	6707	4352S	8704
WESTWARD360	7435	4299S	6341
ARTHUR AVE			
BILL YOUMANS	1264	4250S	8925
BRUNO ROTI	1336	6250S	13125
JAMES F BINSFELD	1351	5000S	10500
JAMES F BINSFELD	1351	2750S	5775
1548 W ARTHUR LLC	1548	7159S	411
1548 W ARTHUR LLC	1548	7159S	896
ARTHUR ASHLAND LLC	1548	7159S	707
WOJCIECH GIERAS	1548	7159S	725
1548 W ARTHUR LLC	1550	7159S	690
ILYA PISARENKO	1550	7159S	707
OLEG SOBOL	1550	7159S	725

NO.	SIZE	LAND	IMP
1548 W ARTHUR LLC	1552	7159S	672
1548 W ARTHUR LLC	1552	7159S	690
1548 W ARTHUR LLC	1552	7159S	707
AGNES NUTTER	1714	4440S	7992
M W GRAVES BRIAN DUNN	1742	4440S	7992
ARTHUR 2009 AN ILLINOI	2009	4125S	7425
MARGRET RODRIGUES KROP	2158	7490S	11047
SARA SHAPIRO	2902	2135S	4270
ASHLAND AVE			
SALLY FREELIS	6545	5580S	10044
IBRAHIM SHIHADDEH	7522	3960S	18067
IBRAHIM SHIHADDEH	7526	3960S	18067
IBRAHIM SHIHADDEH	7530	3960S	18067
RYAN LLC	7639	12800S	15184
RYAN LLC	7651	11781S	13975
7722 34 ASHLAND LLC	7722	15904S	28842
7736 ASHLAND LLC	7736	10440S	19053
BELL AVE			
IHSAN INVESTMENT LLC	6430	7389S	1330
IHSAN INVESTMENTS LLC	6430	7389S	1528
IHSAN INVESTMENTS LLC	6430	7389S	1529
IHSAN INVESTMENTS LLC	6430	7389S	1961
IHSAN INVESTMENTS LLC	6430	7389S	1330
IHSAN INVESTMENTS LLC	6430	7389S	1529
IHSAN INVESTMENTS LLC	6430	7389S	1828
IHSAN INVESTMENTS LLC	6430	7389S	1961
CLEO HUSBAND	7215	5022S	9039
PAUL JASPER	7329	4125S	7425
BIRCHWOOD AVE			
BIRCHWOOD PLAZA INC	1426	7500S	27656
BIRCHWOOD PLAZA INC	1426	14109S	52026
BIRCHWOOD PLAZA INC	1436	6000S	22125
THE HIGHLAND APARTMENT	1457	15000S	14385
AL ESTOCK STACY ADAMS	1531	5400S	9720
SILVER HAMMER HOLDINGS	2000	6634S	676
SILVER HAMMER HOLDINGS	2000	6634S	778
SILVER HAMMER HOLDINGS	2000	6634S	795
SILVER HAMMER HOLDINGS	2000	6634S	813
SILVER HAMMER HOLDINGS	2002	6634S	715
SILVER HAMMER HOLDINGS	2002	6634S	733
SILVER HAMMER HOLDINGS	2002	6634S	751
CMHDC	2100	24272S	26850
SHERYL WEINGROW	2848	6200S	12400
BILLY L LUU	3038	3720S	7440
BOSWORTH AVE			
YAN SHEN	6738	6201S	2065
ESKADAR BELETE	6738	6201S	2472
YAN SHEN	6738	6201S	2065
YAN SHEN	6738	6201S	17233
BROADMOOR PARTNERS LLC	7600	17889S	26386
WINNEMAC PROPERTIES	7605	6400S	102387
WINNEMAC PROPERTIES	7605	5238S	7726
1514 W HOWARD LLC	7611	6400S	63947
IDM SERVICES	7612	6400S	9440
RYAN LLC	7628	12800S	127174
RYAN LLC	7638	12800S	12272
7615 N BOSWORTH LLC	7645	6400S	14080
CALIFORNIA AVE			
EVE NORTMAN	6641	3125S	5234
EVE NORTMAN	6643	3125S	5234
EVE NORTMAN	6645	3125S	5234
CONGREGATION TZEMACH T	6744	4026S	16858
MON MINHSHAMAYIM LLC	7554	9317S	1514
MON MINHSHAMAYIM LLC	7554	9317S	302
MON MINHSHAMAYIM LLC	7554	9317S	302
CAMPBELL AVE			
ABDULRAHIM KALUMIAH &	6423	3750S	7500
HONG YEN T VI	6546	3750S	7500
REZA HOSSEINI	6608	4125S	8250
CHASE AVE			
JAMES W RUSSELL	2727	3720S	7440
DANIEL & TOVA RUBIN	2738	4960S	9920
MIRIAM EX TRUSTEE THE	2815	3720S	7440
HAROLD L PERLMAN	2832	3720S	7440
EXEMPT	2849		
JENNIFER SPECTOR	2917	4007S	8014
MARK & LINA OSTROVSKY	3109	3750S	7500
CLAREMONT AVE			
G&B CLAREMONT 7251 LLC	7251	4970S	8946
JOSE E QUETELL	7421	7029S	12652
FONG LAU	7544	4406S	7930
CLARK ST			
CLARK RIDGE PROPERTIES	6408	8042S	13470
CLARK DEVON HARDWARE	6416	3152S	13199
TRUST APARTMENTS	6443	3465S	5803
JOSE CHACON	6501	9743S	40798
MNM CLARK LLC	6558	14285S	30355
W VACCARO	6609	11690S	19580
CLARK INVESTMENTS LLC	7000	23762S	22856
LOUIS PALIVOS	7001	8650S	36221
LOUIS PALIVOS	7001	17300S	72443
CLARK CORPORATE CENTER	7035	4550S	19053
CLARK SKILLED NURSING	7429	7000S	29312
CLARK SKILLED NURSING	7433	7000S	29312
CLARK SKILLED NURSING	7439	7000S	29312
AAIM HOWARD AND CLARK	7541	9527S	39894
COLUMBIA AVE			
LUZ M REYES	1143	4432S	9750
PHILLIP BURS	1234	4632S	9727
BARBARA J JACOBSEN	1242	4632S	9727
COYLE AVE			
BETZALEL SCHUR	2801	3697S	7394
JORDAN H POLLACK	2844	5289S	10578
M ROSE	2911	5227S	10454
GARY BIDER & ROSE BIDE	2945	5227S	10454
DAMEN AVE			
FRANK W HILDEBRAND TRU	6503	7440S	11160
ANGELA STROE	6632	4059S	6088
ANGELA STROE	6634	4059S	6088
ANGELA STROE	6638	4059S	6088
GEORGE SARAFOLEAN JR	6714	6150S	9225
GEORGE SARAFOLEAN JR	6722	8610S	12915
GEORGE SARAFOLEAN JR	6726	5166S	7749
EDGAR PEDRAZA	7369	19200S	28800
SILVER HAMMER HOLDINGS	7506	6634S	792
SILVER HAMMER HOLDINGS	7506	6634S	810
SILVER HAMMER HOLDINGS	7506	6634S	828
SILVER HAMMER HOLDINGS	7508	6634S	785
SILVER HAMMER HOLDINGS	7508	6634S	803
SILVER HAMMER HOLDINGS	7508	6634S	820
SILVER HAMMER HOLDINGS	7510	6634S	587
SILVER HAMMER HOLDINGS	7510	6634S	621
SILVER HAMMER HOLDINGS	7510	6634S	628
DEVON AVE			
POMINA INVESTMT GRP LLC	1234	5786S	12150
PAUL THEODOSIS TRUST	1358	7936S	13292
ZACHARIAH GEORGE LLC	2000	8844S	14813
GEORGI T IVANOV	2102	3493S	14626
GEORGI T IVANOV	2104	2675S	11201
GEORGI T IVANOV	2106	2675S	11201
GALINA GOLDBERG TRUST	2110	5350S	22403
2434 W DEVON INC	2434	7242S	30325
2434 W DEVON INC	2440	9375S	39257
2434 W DEVON INC	2448	9375S	39257
2434 W DEVON INC	2456	7242S	30325
NBC REALTY INC	2538	9375S	15703
M & T PARTNERSHIP	2608	3125S	15625
M & T PARTNERSHIP	2608	3125S	15625
M & T PARTNERSHIP	2610	3125S	15625
JAYESH SHEWAKRAMANI	2614	3125S	13085

NO.	SIZE	LAND	IMP
NIRMAL SHEWAKRAMANI	2616	3125S	13085
DIPEN LAKHA	2652	3125S	6250
MIDWEST REALTY ONE LLC	2658	862S	1724
ILY YOO	2758	7242S	30325
KHALID J SIDDIQUI	2906	6250S	26171
PI SHINAYIM LLC	3008	13497S	3407
S&T ACQUISITIONS	3152	12449S	2009
S&T ACQUISITIONS	3152	12449S	1999
S&T ACQUISITIONS	3152	12449S	1999
S&T ACQUISITIONS	3152	12449S	1903
S&T ACQUISITIONS	3152	12449S	1993
S&T ACQUISITIONS	3152	12449S	1999
S&T ACQUISITIONS	3152	12449S	1980
S&T ACQUISITIONS	3152	12449S	1900
S&T ACQUISITIONS	3152	12449S	1993
S&T ACQUISITIONS	3152	12449S	1999
S&T ACQUISITIONS	3152	12449S	1999
S&T ACQUISITIONS	3152	12449S	1996
S&T ACQUISITIONS	3152	12449S	1996
S&T ACQUISITIONS LLC	3152	12449S	2835
EASTLAKE TER			
BECOVIC RESIDENTIAL SE	7501	9680S	16214
BECOVIC RESIDENTIAL SE	7510	7863S	12835
BECOVIC RESIDENTIAL SE	7518	7863S	12835
BECOVIC RESIDENTIAL SE	7606	7376S	12354
BECOVIC RESIDENTIAL SE	7634	14700S	24622
BECOVIC RESIDENTIAL SE	7640	10860S	18190
7729 EASTLAKE LLC	7729	11765S	25883
BECOVIC RESIDENTIAL SE	7737	8600S	14405
BECOVIC RESIDENTIAL SE	7738	9840S	16482
ESTES AVE			
7070 SHERIDAN LLC	1301	15561S	22952

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	NO.	SIZE	LAND	IMP		NO.	SIZE	LAND	IMP		NO.	SIZE	LAND	IMP
TENESHA T MCDANIEL	1334	17389S	895	15070	S BEN ABU	7033	279716S	2858	13323	ALDIN MEHINOVIC	7033	279716S	1634	7265
STEPHEN P BOUMAN	1336	17389S	841	14236	LAWRENCE SCHWARTZ	7033	279716S	2858	13323	JOANN LOCKE	7033	279716S	3185	14614
J C WEISS	1336	17389S	860	14218	DEBORAH HAGGAR	7033	279716S	1561	7338	SARA EPSTEIN	7033	279716S	1351	6334
JAMES DEL CASTILLO	1336	17389S	882	15083	AFRIM HYSAL	7033	279716S	2236	10708	AZRA HADZIC	7033	279716S	1634	7265
MARK POMELLA	1338	17389S	841	14236	NOREEN A SOBczyk	7033	279716S	1452	6638	D & D VELJKOVIC	7033	279716S	2454	11299
MARIE SOUFFRANT	1338	17389S	860	14218	KHURSHED BEGUM	7033	279716S	2236	10708	CHICAGO LAND TRUST AS	7033	279716S	1634	7265
DALLAS TOLBERT	1338	17389S	882	15083	SAFIJA MADIROVA	7033	279716S	1452	6638	KWEKU & KVETA DADSON	7033	279716S	2454	11299
MARK ALAN COSTA	1340	17389S	726	12578	KENNETH ZISOOK	7033	279716S	2930	14060	NIJAZ HALILOVIC	7033	279716S	1779	7929
AARON MICHAEL FLATT	1340	17389S	882	15083	GILBERT YEPES VALENTIN	7033	279716S	1278	6003	FAREHA NAZNEEN	7033	279716S	3112	14687
EBONEE WILKINS	1340	17389S	801	10390	VIDA ACEVEDO PECSOON	7033	279716S	1452	6638	L & E GERSHGORIN	7033	279716S	3112	14687
STEPHANIE PAIGE MILES	1340	17389S	857	14221	ASHER T FEIGER	7033	279716S	2236	10708	JERRY SILVERMAN	7033	279716S	3137	14662
ELJAH ITAH	1340	17389S	820	14258	MARILYN E PHILLIPS	7033	279716S	1452	6638	LYLAH T MANALO	7033	279716S	3137	14662
JONATHAN DAVID	1340	17389S	879	15086	MARIA DEL MAR TEJEIRO	7033	279716S	2236	10708	CRAIG C KULWIN	7033	279716S	1800	7908
RYAN M CARROLL	1340	17389S	841	14236	SENAD CAUSEVIC	7033	279716S	1561	7338	ANTE KASALO	7033	279716S	2476	11277
FIRST BK & TR #10-2474	1340	17389S	895	15070	SUSAN BRAITMAN	7033	279716S	2858	13323	D WHITE	7033	279716S	1652	7247
JUDITA MAGELINSKAITE	1342	17389S	939	15913	NICHOLAS GIANNAKAS	7033	279716S	2858	13323	DIANE FRIEDMAN	7033	279716S	2476	11277
ROSALYN CHAVEZ	1342	17389S	895	15070	RENA WILEN TRUST	7033	279716S	2883	13298	BARBARA S SHAPIRO	7033	279716S	3210	15399
WESTWARD 360	1342	17389S	876	15089	DUNG LE MAI	7033	279716S	2883	13298	ANTONIO ZORRILLA	7033	279716S	1358	6328
ERIK M ROBINSON	1342	17389S	913	15081	CAROLYN SORKIN	7033	279716S	1583	7316	US BANK AS TRUSTEE	7033	279716S	1652	7247
VALERIE CURLEY	1342	17389S	892	15073	TAXPAYER OF	7033	279716S	2258	10686	JODI WEISS	7033	279716S	2476	11277
CHANELLE K LOFTNESS	1342	17389S	932	15920	MARY BONNSTETTER	7033	279716S	1470	6620	YEHUDIT BASIL	7033	279716S	1652	7247
STEFAN MANDULA	1342	17389S	910	15055	DENNIS & CHERYL ARMSTR	7033	279716S	2258	10686	MARIA SKOULIDAS	7033	279716S	2476	11277
1730 W GREENLEAF INC	1730	8020S	11829	77179	DANIEL MURTAUGH	7033	279716S	1470	6620	MIKE MIC	7033	279716S	1800	7908
STEVE ALEXIADIS	1821	4356S	7840	34159	JOYCE R LANDAU	7033	279716S	2956	14034	SYLVIA GOLDBERG	7033	279716S	3137	14662
ALEXANDER W PIETRYGA	1835	4300S	7740	26035	SRGON Y KHIDO	7033	279716S	1285	5996	ANGELO RODRIGUEZ	7033	279716S	3137	14662
D ZIMMERMAN	2074	8408S	15134	36234	RAMSIA TAMRAZI	7033	279716S	1470	6620	ANNA BLUM 1501	7033	279716S	3163	14637
RAHMAN AND ZEHRA KHAN	2732	4315S	1001	7188	SHARON FRAZIN	7033	279716S	2258	10686	CHRISTINE DUJE	7033	279716S	3163	14637
JASON BEN ZEEV	2732	4315S	2679	20252	JACOB YACH	7033	279716S	1470	6620	GAYLE KIRSHENBAUM	7033	279716S	1823	8695
Goconda Properties	2732	4315S	2368	10156	GOLDSHTEYN REVOCABLE T	7033	279716S	2258	10686	HARRIETT JOHANIEWICZ	7033	279716S	2498	11256
ZAHAVA G BROG	2732	4315S	2579	19533	MARCIA STEFFEN	7033	279716S	1583	7316	NATALIYA TOPOROVSKAYA	7033	279716S	1670	8038
GREENLEAF EQUITY LLC	2734	4960S	9920	56497	LOIS LEFTON	7033	279716S	2883	13298	HERSCHEL E BAKER	7033	279716S	2498	11256
AKIVA KATZ	2837	3936S	7872	50563	ALEX ABRAM SIDOROVSKY	7033	279716S	2903	13298	CLODALDO D PATENIO	7033	279716S	3235	15373
AKIVA KATZ	2841	5904S	11808	50563	MICHAEL LLOYD MESSING	7033	279716S	2909	13272	TEHRAN PROPERTIES INC	7033	279716S	1365	6320
YAAKOV FRIEDMAN	2908	5166S	10332	38426	MARGIE E SHABAT	7033	279716S	2909	13272	BARBARA HOLTZMAN	7033	279716S	1670	8038
RANDALL B COHEN	2955	3936S	7872	49547	NIJAZ SIKIRIC	7033	279716S	1605	7295	JAMES N COLAIANNI	7033	279716S	2498	11256
					BELLA KLEINMAN	7033	279716S	2280	10664	CHEE WING LEE	7033	279716S	1670	8038
GREENVIEW AVE	N				BARRY BERKOWITZ	7033	279716S	1488	6602	ANN T CATALANO	7033	279716S	2498	11256
					M PIVEVSKY	7033	279716S	2280	10664	WILLIAM POLLACK	7033	279716S	1823	8695
JOHN BRAVOS	6442	3958S	7124	51070	CTLC 008002357929	7033	279716S	1488	6602	DANUTA PAZGAN	7033	279716S	1670	8038
J ZEIGER K HARWOOD	6515	4099S	7378	42525	STEVEN SCHAYER	7033	279716S	2981	14009	TAHIR MALIK	7033	279716S	3163	14637
GREENVIEW & LOYOLA AN	6522	3840S	6912	45088	VERA CALOVIC	7033	279716S	1292	5989	H & C GREENSTEIN	7033	279716S	3188	14611
YOUNG JUN PARK	6524	3534S	6361	28800	STANLEY ROSS DAVIS	7033	279716S	1488	6602	CHAIM & DAWN ROSENBERG	7033	279716S	3188	14611
MICHAEL W SCHOEN	6627	6100S	10980	41957	SHARON BOGETZ	7033	279716S	2280	10664	JOHN P CHALMERS	7033	279716S	1845	8673
CELESTE CHAMBERLAND	6739	6100S	2134	15581	ANGELINA LEPEK	7033	279716S	1488	6602	CLAY TSUHOW	7033	279716S	2520	12043
GERALD C TIETZ III	7058	7249S	2174	26265	A J SEIDMAN	7033	279716S	2280	10664	BARBARA P HARRIS	7033	279716S	1688	8020
ANTHONY E KRAMER	7058	7249S	2174	26265	TINA BELEC	7033	279716S	1605	7295	ROSHA PATEL	7033	279716S	2520	12043
RICHARD ROSE	7060	7249S	2174	26265	CHAGIT ZUCKERMAN	7033	279716S	2909	13272	ESTHER WACHS	7033	279716S	1688	8020
ADAM KAPLAN	7060	7249S	2174	26265	RUTH A BENZAQUEN	7033	279716S	2909	13272	STEVEN ALLEN	7033	279716S	3260	15348
JODY A BARTLEY	7060	7249S	2174	26265	IRVING WEISS	7033	279716S	2934	14056	JOHN D SEGAL	7033	279716S	1372	6313
MALLORY KLOCKE	7060	7249S	2174	26265	TRUST 8002373907	7033	279716S	2934	14056	JERROLD MAYSTER	7033	279716S	1688	8020
M SCHINDLBECK & J OLOR	7071	5437S	9786	27911	I TROGRANIC M LJUBANI	7033	279716S	1626	7273	MIRIAM EINHORN	7033	279716S	2520	12043
AFFORDABLE HOME DEVELP	7652	11531S	1098	5950	SURIE OSINA	7033	279716S	2302	10642	BATYA HERMANDEZ	7033	279716S	1688	8020
AFFORDABLE HOME DEVELP	7652	11531S	1098	5950	SHEILA CALVARIO	7033	279716S	1507	6583	CAROLEE SHUDNOW	7033	279716S	2520	12043
WILLIAM A MILOSZ TRUST	7652	11531S	1400	11699	SELM HOOZIC	7033	279716S	2302	10642	SHERRY L LEO	7033	279716S	1845	8673
					FRANK COVELLO	7033	279716S	1462	6628	JOHN HAMILTON METOYER	7033	279716S	3188	14611
HAMILTON AVE	N				MILTON D SHULMAN	7033	279716S	3006	13984	NEIL HOWARD PLISKIN	7033	279716S	3188	14611
					THEODORE J HASLER	7033	279716S	1327	6358	TINCY POOVATHUR	7033	279716S	3213	15395
PATRICIO MERCAN	7241	7800S	14040	28295	ERNAD HALILIC	7033	279716S	1507	6583	ALICE H ANTHONY TRUSTE	7033	279716S	3216	15393
DAWSON R DAVIS	7257	6120S	2175	32564	MRS MENNETTE GRONER	7033	279716S	2302	10642	CHERYL A GNIPPE	7033	279716S	1866	8651
IVY M COBBINS	7257	6120S	2175	32564	MARIJA MARKU	7033	279716S	1507	6583	TRUST I INC 8002375232	7033	279716S	2542	12021
RYAN E STEWART	7257	6120S	1609	24214	GOLDENBERG GEORGEAN	7033	279716S	2302	10642	SCOTT LEE	7033	279716S	1706	8002
PAUL M TRAN	7257	6120S	1609	24214	EMINA KUPUSOVIC	7033	279716S	1626	7273	SMAIL CIKMIROVIC	7033	279716S	2542	12021
MICHAEL R CLEARY	7257	6120S	1722	25884	EDWIN B HOCHMAN TRUST	7033	279716S	2933	14057	ANTHONEY RICHARDSON	7033	279716S	1706	8002
DEREK DANIEL SCHULTZ	7257	6120S	1722	25884	ABRAHAM ADLER	7033	279716S	2934	14056	GIANKATHERINE R FLORES	7033	279716S	3279	15322
					A MARINELLI	7033	279716S	2959	14031	LEE J GUNSELMAN	7033	279716S	1386	6306
HERMITAGE AVE	N				ATARA HAYER	7033	279716S	2959	14031	SENAD CAUSEVIC	7033	279716S	1706	8002
					RADU VIRGIL NAN	7033	279716S	1648	7251	CHEE WING LEE	7033	279716S	2542	12021
STAK HERMITAGE LLC	7733	6250S	13750	71765	DENISE COLEMAN	7033	279716S	2324	10621	DAKSHA R TRIVEDI	7033	279716S	1706	8002
					DOMINICA WARCHOL	7033	279716S	1525	6565	MAZHER M JADDI	7033	279716S	2542	12021
HOWARD ST	W				DR LIPMANOVICH YULIA	7033	279716S	2324	10621	MICHAEL BOCHNEWYCH	7033	279716S	1866	8651
					RIMMA BEREZUTSKAYA	7033	279716S	1525	6565	G & E PLOTNIK	7033	279716S	3213	15395
1419 HOWARD LLC	1425	14668S	61422	556355	JUDITH KUTIN	7033	279716S	3032	13958	MYRNA E ROSEN	703			

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	NO.	SIZE	LAND	IMP		NO.	SIZE	LAND	IMP		NO.	SIZE	LAND	IMP
NEWGARD AVE	N				7621 N SHERIDAN LLC	7621	12000S	20100	104373	AMERICAN BLUE RIBBON H	7137	2425S	10154	35900
JOSE PAZ	6527	4099S	8607	66392	7621 N SHERIDAN LLC	7622	3675S	6155	101304	AMERICAN BLUE RIBBON H	7139	2424S	10150	45510
TIMOTHY HOGAN	6601	3850S	8085	11287	7621 N SHERIDAN	7623	11025S	18466	101304	AMERICAN BLUE RIBBON H	7141	2764S	11574	22504
NORTH SHORE AVE	W				ISAC SARGON	7644	8871S	37147	89206	MODICA FAMILY LTD PTNS	7242	6200S	25962	89537
LOWELL J MYERS	1060	7050S	15510	87678	7710 SHERIDAN LLC	7710	9951S	18906	350517	THEODORE T PAULOS	7313	6250S	26171	62806
RAH F LEVACCARE TRUST	1244	4448S	9340	62828	ACHINA & STOCKWELL	7736	61111S	2153	26249	EXEMPT	7317			
ROBERT R FERNANDEZ	1402	6494S	2345	16923	DEMEATRICE BAUGHNS	7738	61111S	1599	19497	ERRICO LLC	7537	2700S	11306	29258
KELLIE ZAREMBA	1402	6494S	2345	16923	DARLENE PIELL	7738	61111S	1918	23382	WHIPPLE ST	N			
KYAH HAWK	1402	6494S	2345	16923	GLORIA IKEJI	7738	61111S	1670	20364	BENJAMIN M CHAJES	6617	4068S	8136	26666
B M PEAK	1406	6494S	1745	12706	WILLIAM MICHAEL MANSKE	7738	61111S	1635	19930	WINCHESTER AVE	N			
LUCY LORENZEN	1406	6494S	1745	12706	JOAN GALLAGHER	7738	61111S	1599	19497	MOHAMMED CHOWDHURY	6443	12049S	21688	58205
GRAZIANO TONY	1408	6494S	1554	11521	US BANK TRUST NA	7738	61111S	1918	23382	HERITAGE HOME PARTNERS	7314	17936S	27352	187864
NORTH SHORE MAZEL LLC	1716	14405S	21247	350349	GLORIA IKEJI	7738	61111S	197	2405	WOLCOTT AVE	N			
1742 N NORTH SHORE INC	1742	18250S	26918	312119	JOAN GALLAGHER	7738	61111S	197	2405	MORSE WOLCOTT LLC	6942	25650S	37833	643246
MICHAEL HUMENIK	1756	3750S	6750	43940	DEMEATRICE BAUGHNS	7738	61111S	137	1670	SALVADOR PEREZ	7028	4000S	7200	30406
RAMO MARKICIC	1762	7500S	11062	86046	LINDA J PETTY	7738	61111S	137	1670	ROTH MIJ	7306	8150S	12021	61373
MENDAL SCHNEIDER	2835	5582S	11164	31119	JACK TREIER	7740	61111S	3099	37784	LAKESHORE EQUITIES LLC	7415	4836S	10639	25995
ALEX & NAOMI TURETSKY	3041	4909S	9818	47330	TIMOTHY FITZGERALD	7742	61111S	1635	19930	CINDY & JOE HUANG	7522	3900S	8580	5105
PAULINA ST	N				TIMOTHY FITZGERALD	7742	61111S	1599	19497	CINDY & JOE HUANG	7542	4650S	10230	17770
HOWARD PAULINA LLC	7605	14880S	54870	180321	PATRICK J CARROLL	7742	61111S	1918	23382					
RAGHU NAYAK	7613	7680S	28320	168122	TIMOTHY FITZGERALD	7742	61111S	137	1670					
RAGHU NAYAK	7618	3840S	14160	30289	PATRICK J CARROLL	7742	61111S	109	1336					
RAGHU NAYAK	7619	3840S	14160	221	TIMOTHY FITZGERALD	7742	61111S	109	1336					
RAGHU NAYAK	7623	3840S	14160	221	TIMOTHY FITZGERALD	7742	61111S	109	1336					
RYAN LLC	7705	11131S	10671	60530	K BEHNERT	7742	61111S	109	1336					
RYAN LLC	7711	8250S	7909	280	KURT BUEHRER	7744	61111S	2892	35265					
RYAN LLC	7717	12375S	11864	54202	NINUS SIMONZADEH	7746	61111S	1599	19497					
RYAN LLC	7737	15000S	14381	460	SHAMMIKKA CHISOLM	7746	61111S	1528	18630					
PRATT BLVD	W				TAXPAYER OF	7746	61111S	1563	19064					
GREGORY K SHIVES	1117	6150S	13530	43945	NINUS SIMONZADEH	7746	61111S	137	1670					
ASHLEY AUTUMN LUCIANI	1519	6250S	13125	43095	TAXPAYER OF	7746	61111S	137	1670					
REBA PROPERTIES	1528	10500S	11424	233026	JOHN S HAYES	7746	61111S	2149	26198					
CHRIS & LISA CHIGAS	1540	8750S	15750	41082	MARGARET KELLY	7750	61111S	1625	19820					
WILLIAM COVACI	1644	17800S	29815	297411	MARYC PAT J CARROLL	7750	61111S	1599	19497					
CTLTC 008002372508	1673	15216S	25486	68554	CAROL RIDDLE	7750	61111S	1918	23382					
JAIME MORENO	2074	18800S	33840	44044	K BEHNERT	7750	61111S	1670	20364					
FRED SIEGELTUCH	2324	7560S	13608	31795	GLENN CARLOS	7750	61111S	1635	19930					
NORTHTOWN APARTMENTS L	2410	27857S	16747	97367	WILLIAM & NATASHA MOSS	7750	61111S	1640	19997					
NORTHTOWN APARTMENTS L	2410	12093S	2346	329	JORY ZIMMERER	7750	61111S	1604	19553					
NORMAN L STEIN	2638	3000S	6000	29000	PATRICK BRIGGS	7750	61111S	1747	21302					
PAUL D FEIT & RACHEL F	2920	6600S	13200	7756	ELSIEP PROP SERIES 774	7750	61111S	1563	19064					
CTLTC 35094	2950	7170S	14340	40156	TERRENCE M LYONS	7750	61111S	1631	20364					
JOSEPH KNOPF	3034	1503S	3006	22854	LEONI C HERRERA	7750	61111S	1795	21881					
RAVENSWOOD AVE	N				BARBARA WARREN	7750	61111S	1635	19930					
DIMITRIS BUBARIS	7013	5000S	10625	102575	JUDITH A KOLATA TRUSTE	7750	61111S	137	1670					
RICHMOND ST	N				JOSE A DUARTE	7750	61111S	137	1670					
EXEMPT	6459				MARGARET KELLY	7750	61111S	137	1670					
RIDGE BLVD	N				JACK TREIER	7750	61111S	137	1670					
WEST RIDGE PROPCO	6450	14738S	54346	1476538	JACK TREIER	7750	61111S	137	1670					
WEST RIDGE PROPCO	6454	4786S	17648	368753	K BEHNERT	7750	61111S	137	1670					
RICK E HEIDNER	6740	6942S	25598	71171	DARLENE PIELL	7750	61111S	131	1603					
BECOVIC MGMT GROUP INC	6826	16027S	23639	116535	ACHINA & STOCKWELL	7750	61111S	131	1603					
ROCKWELL ST	N				JORY ZIMMERER	7750	61111S	131	1603					
ROCKWELLSEJ LLC	6411	4687S	7850	179730	JUDITH A KOLATA TRUSTE	7750	61111S	1563	19064					
ROCKWELLSEJ LLC	6411	18771S	31441	601704	TIM AND CHERIE SWEANY	7750	61111S	2200	26822					
JANICE KING	6551	4687S	9374	27200	TIMOTHY&CHERIE SWEANY	7750	61111S	137	1670					
ROGERS AVE	N				TIM AND CHERIE SWEANY	7750	61111S	109	1336					
EDWARD ANDERSON	7532	3485S	3390	21149	RENEE FELTES	7752	61111S	3246	39573					
EDWARD ANDERSON	7532	3485S	1746	10522	RENEE FELTES	7752	61111S	137	1670					
AUTISM HOMES ALLIANCE	7532	3485S	2530	15465	RENEE FELTES	7752	61111S	137	1670					
ROGERS LLC	7632	10293S	37955	142591	MR & MRS L CINQUEGRANI	7754	61111S	2685	32737					
SACRAMENTO AVE	N				BRIAN J GUASTELLA	7758	61111S	2904	35410					
BASIL RIZAKOS	6446	4062S	8124	28390	ANN PARK	7760	61111S	2717	33131					
ABRAHAM SCHLESINGER	6656	6261S	12522	43875	ARN G AHLSTROM	7760	61111S	2685	32737					
SEELEY AVE	N				MIRIAM TONEY	7762	61111S	2685	32737					
RAVINDER SINGH	6543	6500S	11700	21650	KEVIN VILLANUEVA & JAM	7762	61111S	2717	33131					
NHATTIEN D VU	6817	4950S	8910	24570	ERIC & SOPHIA JONES	7764	61111S	2685	32737					
HALIM SEELEY	7444	16330S	24086	321423	MARK J DOYLE	7764	61111S	2828	34481					
SHERIDAN RD	N				DAVID GREENSPAN	7768	61111S	2522	30746					
CONCORD SHERIDAN LP	6418	45094S	30844	515395	CAROLINE SEUFERT	7768	61111S	2902	35383					
CONCORD COMMERCIAL LLC	6418	45094S	30325	996504	BARRY & EMILY CROKE	7768	61111S	2685	32737					
CONCORD COMMERCIAL LLC	6418	45094S	20135	623289	D SCOTT WEBER	7770	61111S	4385	53459					
LOYOLA UNIVERSITY CHGO	6427	33880S	9647	44747	MICHELLE L BUCK	7772	61111S	4522	55130					
LOYOLA UNIVERSITY CHGO	6427	16380S	4664	149806	SHERWIN AVE	W								
LOYOLA UNIVERSITY CHGO	6461	5223S	1487	92	POAH LEVY HOUSE LLC	1217	8373S	12350	113859					
LOYOLA UNIV OF CHGO	6578	24000S	6300	302510	POAH LEVY HOUSE LLC	1219	10216S	15068	485399					
EXCEL SERVICES	6711	6250S	13750	135250	K L CUNNIFF	1428	5400S	9720	33525					
WILLIAM COVACI	6824	21900S	36682	781006	ERASMUS EZEJI	1440	13544S	2220	13279					
SEFER AJDINI	6910	7300S	12227	230229	MIKRO BUNJEVECEVIC	1440	13544S	1435	8585					
MIRZET BISER	6919	14646S	24532	598190	SYBIL S WHITE	1440	13544S	1436	11500					
LEONA S PIZZERIA	6925	7323S	30665	1067	CLEMENT ADERORHO	1440	8580S	1406	15499					
LAKESHORE PROP LLC	7200	7689S	32197	1004809	JEAN T NGUEMAHA	1440	8580S	1406	15499					
LAKESHORE PROP LLC	7204	9300S	38943	223291	MAURICE WILLIAMS	1440	8580S	1218	11500					
LAKESHORE PROP LLC	7214	7905S	33102	1004809	SUSANNE LITTLEFIELD	1440	8580S	1218	11500					
LAKESH														

# Supreme Court says condo sellers can't sue over association's 'excessive' fees

BY SCOTT HOLLAND  
*Cook County Record*

The Illinois Supreme Court says state law grants no right to condominium owners to sue property associations over allegedly excessive fees to access documents needed to sell condo units.

The ruling ends a lawsuit from 2016, when Harry and Dawn Channon sold their Chicago condo. They eventually sued Westward Management, the retained agent of the Kenmore Club Condominium Assoc., alleging the firm charged excessive, unreasonable fees to produce materials to give to prospective buyers. They said the charges violated the Condominium Property Act and the Consumer Fraud and Decep-

tive Business Practices Act.

Cook County Circuit Judge Anna Loftus denied Westward's motion to dismiss the complaint. But she agreed to certify a legal question to the Illinois First District Appellate Court:

Whether the law the Channons invoked provides an implied cause of action for condo sellers, which would give them the ability to sue. In Dec. 2021, the appeals court affirmed the question, but Westward asked the Supreme Court to consider the same issue. Justice Robert Carter wrote the unanimous opinion, filed Nov. 28, and Justice Michael Burke wrote a special concurrence.

The heart of the dispute is Westward's itemized list of documents and forms, for which it charged the Channons \$245. According to

Carter's opinion, the law in question establishes a duty for people selling condo units to make the necessary disclosures and does not otherwise enshrine protection for sellers.

"The mandate that sellers make those disclosures was clearly intended to protect potential buyers by providing them with information vital to making their purchasing decisions," Carter wrote. "It is virtually unimaginable that the legislature's decision to include that litany of nine distinct types of mandated disclosures was intended to protect anyone other than a potential unit buyer."

Furthermore, a condo association's "principal officer" is required by law to make the mandated disclosures within 30 days of the seller's written request,

more evidence the law "protects only potential buyers. Nonetheless, the Channons argue that (the law) shows a legislative intent to provide unit sellers with a benefit by limiting the sum they may be charged to obtain disclosures to 'a reasonable fee covering the direct out-of-pocket cost of providing such information and copying.'"

The Supreme Court rejected the argument a clause within the law is intended to benefit sellers, saying it can just as easily be construed as an aid to buyers. And while the justices said the plain reading of the law is sufficient to answer the question in favor of

**FEES** see p. 15

## Lakeview Township Real Estate For Sale

Real Estate For Sale	Real Estate For Sale	Real Estate For Sale	Real Estate For Sale	Real Estate For Sale	Real Estate For Sale
<p>IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION LAKEVIEW LOAN SERVICING, LLC Plaintiff, -v- ANETA HADZI-TANOVIC A/K/A ANETA PAVLOVICH, SLOBODAN PAVLOVICH, THE 632 W. BRIAR PLACE CONDOMINIUM, UNKNOWN OWNERS AND NON-RECORD CLAIMANTS Defendants 19 CH 09930 632 WEST BRIAR PLACE, # 3 CHICAGO, IL 60657 NOTICE OF SALE PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on June 27, 2022, an agent for The Judicial Sales Corporation, will at 10:30 AM on January 23, 2023, at The Judicial Sales Corporation, One South Wacker, 1st Floor Suite 35R, Chicago, IL, 60606, sell at a public sale to the highest bidder, as set forth below, the following described real estate: Commonly known as 632 WEST BRIAR PLACE, # 3, CHICAGO, IL 60657 Property Index No. 14-28-101-037-1003 The real estate is improved with a condominium with garage. Sale terms: 25% down of the highest bid by certified funds at the close of the sale payable to The Judicial Sales Corporation. No third party checks will be accepted. The balance, including the Judicial Sale fee for the Abandoned Residential Property Municipality Relief Fund, which is calculated on residential real estate at the rate of \$1 for each \$1,000 or fraction thereof of the amount paid by the purchaser not to exceed \$300, in certified funds/wire transfer, is due within twenty-four (24) hours. No fee shall be paid by the mortgagee acquiring the residential real estate pursuant to its credit bid at the sale or by any mortgagee, judgment creditor, or other lienor acquiring the residential real estate whose rights in and to the residential real estate arose prior to the sale. The subject property is subject to general real estate taxes, special assessments, or special taxes levied against said real estate and is offered for sale without any representation as to quality or quantity of title and without recourse to Plaintiff and in "AS IS" condition. The sale is further subject to confirmation by the court. Upon payment in full of the amount bid, the purchaser will receive a Certificate of Sale that will entitle the purchaser to a deed to the real estate after confirmation of the sale. The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property. Prospective bidders are admonished to check the court file to verify all information. If this property is a condominium unit, the purchaser of the unit at the foreclosure sale, other than a mortgagee, shall pay the assessments and the legal fees required by The Condominium Property Act, 765 ILCS 605/9(g)(1) and (g)(4). If this property is a condominium unit which is part of a common interest community, the purchaser of the unit at the foreclosure sale other than a mortgagee shall pay the assessments required by The Condominium Property Act, 765 ILCS 605/18.5(g-1). IF YOU ARE THE MORTGAGOR (HOMEOWNER), YOU HAVE THE RIGHT TO REMAIN IN POSSESSION FOR 30 DAYS AFTER ENTRY OF AN ORDER OF POSSESSION, IN ACCORDANCE WITH SECTION 15-1701(C) OF THE ILLINOIS MORTGAGE FORECLOSURE LAW. You will need a photo identification issued by a government agency (driver's license, passport, etc.) in order to gain entry into our building and the foreclosure sale room in Cook County and the same identification for sales held at other county venues where The Judicial Sales Corporation conducts foreclosure sales. MCCALLA RAYMER LEIBERT PIERCE, LLC Plaintiffs Attorneys, One North Dearborn Street, Suite 1200, Chicago, IL, 60602. Tel No. (312) 346-9088. THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL 60606-4650 (312) 236-SALE You can also visit The Judicial Sales Corporation at www.tjsc.com for a 7 day status report of pending sales. MCCALLA RAYMER LEIBERT PIERCE, LLC One North Dearborn Street, Suite 1200 Chicago IL, 60602 312-346-9088 E-Mail: pleadings@mccalla.com Attorney File No. 20-03786IL_608583 Attorney ARDC No. 61256 Attorney Code. 61256 Case Number: 19 CH 09930 TJSC#: 42-2552 NOTE: Pursuant to the Fair Debt Collection Practices Act, you are advised that Plaintiff's attorney is deemed to be a debt collector attempting to collect a debt and any information obtained will be used for that purpose. Case # 19 CH 09930 <b>13208876</b></p>	<p>IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION U.S. BANK NATIONAL ASSOCIATION, AS TRUSTEE FOR JPMORGAN MORTGAGE TRUST 2006-A3 Plaintiff, -v- JAMES L. CHITTARO, SARAH J. CHITTARO, 1642 WEST WOLFRAM STREET CONDOMINIUM ASSOCIATION, CAPITAL ONE BANK (USA), N.A., CONTINUUM CAPITAL FUNDING, LLC, STATE OF ILLINOIS Defendants 2018 CH 06144 1641 W WOLFRAM STREET, APT 2 CHICAGO, IL 60657 NOTICE OF SALE PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on July 12, 2022, an agent for The Judicial Sales Corporation, will at 10:30 AM on January 12, 2023, at The Judicial Sales Corporation, One South Wacker, 1st Floor Suite 35R, Chicago, IL, 60606, sell at a public sale to the highest bidder, as set forth below, the following described real estate: Commonly known as 1641 W WOLFRAM STREET, APT 2, CHICAGO, IL 60657 Property Index No. 14-30-225-044-1002 The real estate is improved with a condominium. The judgment amount was \$633,329.13. Sale terms: 25% down of the highest bid by certified funds at the close of the sale payable to The Judicial Sales Corporation. No third party checks will be accepted. The balance, including the Judicial Sale fee for the Abandoned Residential Property Municipality Relief Fund, which is calculated on residential real estate at the rate of \$1 for each \$1,000 or fraction thereof of the amount paid by the purchaser not to exceed \$300, in certified funds/wire transfer, is due within twenty-four (24) hours. No fee shall be paid by the mortgagee acquiring the residential real estate pursuant to its credit bid at the sale or by any mortgagee, judgment creditor, or other lienor acquiring the residential real estate whose rights in and to the residential real estate arose prior to the sale. The subject property is subject to general real estate taxes, special assessments, or special taxes levied against said real estate and is offered for sale without any representation as to quality or quantity of title and without recourse to Plaintiff and in "AS IS" condition. The sale is further subject to confirmation by the court. Upon payment in full of the amount bid, the purchaser will receive a Certificate of Sale that will entitle the purchaser to a deed to the real estate after confirmation of the sale. The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property. Prospective bidders are admonished to check the court file to verify all information. If this property is a condominium unit, the purchaser of the unit at the foreclosure sale, other than a mortgagee, shall pay the assessments and the legal fees required by The Condominium Property Act, 765 ILCS 605/9(g)(1) and (g)(4). If this property is a condominium unit which is part of a common interest community, the purchaser of the unit at the foreclosure sale other than a mortgagee shall pay the assessments required by The Condominium Property Act, 765 ILCS 605/18.5(g-1). IF YOU ARE THE MORTGAGOR (HOMEOWNER), YOU HAVE THE RIGHT TO REMAIN IN POSSESSION FOR 30 DAYS AFTER ENTRY OF AN ORDER OF POSSESSION, IN ACCORDANCE WITH SECTION 15-1701(C) OF THE ILLINOIS MORTGAGE FORECLOSURE LAW. You will need a photo identification issued by a government agency (driver's license, passport, etc.) in order to gain entry into our building and the foreclosure sale room in Cook County and the same identification for sales held at other county venues where The Judicial Sales Corporation conducts foreclosure sales. For information, contact JOHNSON, BLUMBERG &amp; ASSOCIATES, LLC Plaintiffs Attorneys, 30 N. LASALLE STREET, SUITE 3650, Chicago, IL, 60602 (312) 541-9710. Please refer to file number 18 5863. THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL 60606-4650 (312) 236-SALE You can also visit The Judicial Sales Corporation at www.tjsc.com for a 7 day status report of pending sales. JOHNSON, BLUMBERG &amp; ASSOCIATES, LLC 30 N. LASALLE STREET, SUITE 3650 Chicago IL, 60602 312-541-9710 E-Mail: jlplleadings@johnsonblumberg.com Attorney File No. 18 5863 Attorney Code. 40342 Case Number: 2018 CH 06144 TJSC#: 42-4429 NOTE: Pursuant to the Fair Debt Collection Practices Act, you are advised that Plaintiff's attorney is deemed to be a debt collector attempting to collect a debt and any information obtained will be used for that purpose.</p>	<p>for that purpose. Case # 2018 CH 06144 <b>13208787</b> 141414 ----- IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION NEWREZ LLC D/B/A SHELLPOINT MORTGAGE SERVICING Plaintiff, -v- DAVID H WOLFSON, LAKE PARK PLAZA CONDOMINIUM ASSOCIATION, UNKNOWN OWNERS AND NON-RECORD CLAIMANTS Defendants 22 CH 05098 3930 NORTH PINE GROVE AVENUE 2710 CHICAGO, IL 60613 NOTICE OF SALE PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on November 2, 2022, an agent for The Judicial Sales Corporation, will at 10:30 AM on January 3, 2023, at The Judicial Sales Corporation, One South Wacker, 1st Floor Suite 35R, Chicago, IL, 60606, sell at a public sale to the highest bidder, as set forth below, the following described real estate: Commonly known as 3930 NORTH PINE GROVE AVENUE 2710, CHICAGO, IL 60613 Property Index No. 14-21-100-018-1377 The real estate is improved with a condominium with a multi car garage. Sale terms: 25% down of the highest bid by certified funds at the close of the sale payable to The Judicial Sales Corporation. No third party checks will be accepted. The balance, including the Judicial Sale fee for the Abandoned Residential Property Municipality Relief Fund, which is calculated on residential real estate at the rate of \$1 for each \$1,000 or fraction thereof of the amount paid by the purchaser not to exceed \$300, in certified funds/wire transfer, is due within twenty-four (24) hours. No fee shall be paid by the mortgagee acquiring the residential real estate pursuant to its credit bid at the sale or by any mortgagee, judgment creditor, or other lienor acquiring the residential real estate whose rights in and to the residential real estate arose prior to the sale. The subject property is subject to general real estate taxes, special assessments, or special taxes levied against said real estate and is offered for sale without any representation as to quality or quantity of title and without recourse to Plaintiff and in "AS IS" condition. The sale is further subject to confirmation by the court. Upon payment in full of the amount bid, the purchaser will receive a Certificate of Sale that will entitle the purchaser to a deed to the real estate after confirmation of the sale. The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property. Prospective bidders are admonished to check the court file to verify all information. If this property is a condominium unit, the purchaser of the unit at the foreclosure sale, other than a mortgagee, shall pay the assessments and the legal fees required by The Condominium Property Act, 765 ILCS 605/9(g)(1) and (g)(4). If this property is a condominium unit which is part of a common interest community, the purchaser of the unit at the foreclosure sale other than a mortgagee shall pay the assessments required by The Condominium Property Act, 765 ILCS 605/18.5(g-1). IF YOU ARE THE MORTGAGOR (HOMEOWNER), YOU HAVE THE RIGHT TO REMAIN IN POSSESSION FOR 30 DAYS AFTER ENTRY OF AN ORDER OF POSSESSION, IN ACCORDANCE WITH SECTION 15-1701(C) OF THE ILLINOIS MORTGAGE FORECLOSURE LAW. You will need a photo identification issued by a government agency (driver's license, passport, etc.) in order to gain entry into our building and the foreclosure sale room in Cook County and the same identification for sales held at other county venues where The Judicial Sales Corporation conducts foreclosure sales. MCCALLA RAYMER LEIBERT PIERCE, LLC Plaintiffs Attorneys, One North Dearborn Street, Suite 1200, Chicago, IL, 60602. Tel No. (312) 346-9088. THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL 60606-4650 (312) 236-SALE You can also visit The Judicial Sales Corporation at www.tjsc.com for a 7 day status report of pending sales. MCCALLA RAYMER LEIBERT PIERCE, LLC One North Dearborn Street, Suite 1200 Chicago IL, 60602 312-346-9088 E-Mail: pleadings@mccalla.com Attorney File No. 22-10393IL Attorney ARDC No. 61256 Attorney Code. 61256 Case Number: 22 CH 05098 TJSC#: 42-4153 NOTE: Pursuant to the Fair Debt Collection Practices Act, you are advised that Plaintiff's attorney is deemed to be a debt collector attempting to collect a debt and any information obtained will be used for that purpose.</p>	<p>deemed to be a debt collector attempting to collect a debt and any information obtained will be used for that purpose. Case # 22 CH 05098 <b>13208366</b> 141414 ----- IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION TOWD POINT MASTER FUNDING TRUST 2017-FRE2; Plaintiff, vs. SHARON A. RINALDI; THE UNITED STATES OF AMERICA OF FOR BENEFIT OF THE INTERNAL REVENUE SERVICE; ILLINOIS DEPARTMENT OF REVENUE; UNITED STATES OF AMERICA FOR THE BENEFIT OF THE DEPARTMENT OF JUSTICE; PARK PLACE TOWER I CONDOMINIUM ASSOCIATION; UNKNOWN OWNERS, GENERALLY AND NONRECORD CLAIMANTS; Defendants, 22 CH 2221 NOTICE OF SALE PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on November 2, 2022, an agent for The Judicial Sales Corporation, will on Wednesday, January 11, 2023 at the hour of 11 a.m. in their office at 120 West Madison Street, Suite 718A, Chicago, Illinois, sell at public auction to the highest bidder for cash, as set forth below, the following described mortgaged real estate: P.I.N. 14-21-101-054-1681; 14-21-101-047-2503. Commonly known as 655 W Irving Park Rd, Unit 4601 and B-200, Chicago, IL 60613. The mortgaged real estate is improved with a condominium residence. The purchaser of the unit other than a mortgagee shall pay the assessments and the legal fees required by subdivisions (g)(1) and (g)(4) of Section 9 of the Condominium Property Act Sale terms: 10% down by certified funds, balance, by certified funds, within 24 hours. No refunds. The property will NOT be open for inspection. For information call Mr. Matthew C. Abad at Plaintiff's Attorney, Kluever Law Group, 225 West Washington Street, Chicago, Illinois 60606. (312) 236-0077. SPS001302-22FC1 INTERCOUNTY JUDICIAL SALES CORPORATION intercountyjudicialsales.com <b>13208251</b> IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION U.S. BANK TRUST NATIONAL ASSOCIATION, NOT IN ITS INDIVIDUAL CAPACITY BUT SOLELY AS OWNER TRUSTEE FOR RCF 2 ACQUISITION TRUST Plaintiff, -v- UNKNOWN HEIRS AND LEGATEES OF DAMIAN IMPARL A/K/A DAMIAN J IMPARL, JOHN LYDON, SPECIAL REPRESENTATIVE OF DAMIAN IMPARL, DECEASED, UNKNOWN OWNERS AND NON-RECORD CLAIMANTS, WINDSOR HOUSE CONDOMINIUM ASSOCIATION Defendants 20 CH 02427 5950 NORTH KENMORE AVENUE, UNIT 505 CHICAGO, IL 60660 NOTICE OF SALE PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on October 5, 2022, an agent for The Judicial Sales Corporation, will at 10:30 AM on January 9, 2023, at The Judicial Sales Corporation, One South Wacker, 1st Floor Suite 35R, Chicago, IL, 60606, sell at a public sale to the highest bidder, as set forth below, the following described real estate: Commonly known as 5950 NORTH KENMORE AVENUE, UNIT 505, CHICAGO, IL 60660 Property Index No. 14-05-213-032-1021 and 14-05-213-032-1060 The real estate is improved with a condominium. Sale terms: 25% down of the highest bid by certified funds at the close of the sale payable to The Judicial Sales Corporation. No third party checks will be accepted. The balance, including the Judicial Sale fee for the Abandoned Residential Property Municipality Relief Fund, which is calculated on residential real estate at the rate of \$1 for each \$1,000 or fraction thereof of the amount paid by the purchaser not to exceed \$300, in certified funds/wire transfer, is due within twenty-four (24) hours. No fee shall be paid by the mortgagee acquiring the residential real estate pursuant to its credit bid at the sale or by any mortgagee, judgment creditor, or other lienor acquiring the residential real estate whose rights in and to the residential real estate arose prior to the sale. The subject property is subject to general real estate taxes, special assessments, or special taxes levied against said real estate and is offered for sale without any representation as to quality or quantity of title and without recourse to Plaintiff and in "AS IS" condition. The sale is further subject to confirmation by the court.</p>	<p>Upon payment in full of the amount bid, the purchaser will receive a Certificate of Sale that will entitle the purchaser to a deed to the real estate after confirmation of the sale. The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property. Prospective bidders are admonished to check the court file to verify all information. If this property is a condominium unit, the purchaser of the unit at the foreclosure sale, other than a mortgagee, shall pay the assessments and the legal fees required by The Condominium Property Act, 765 ILCS 605/9(g)(1) and (g)(4). If this property is a condominium unit which is part of a common interest community, the purchaser of the unit at the foreclosure sale other than a mortgagee shall pay the assessments required by The Condominium Property Act, 765 ILCS 605/18.5(g-1). IF YOU ARE THE MORTGAGOR (HOMEOWNER), YOU HAVE THE RIGHT TO REMAIN IN POSSESSION FOR 30 DAYS AFTER ENTRY OF AN ORDER OF POSSESSION, IN ACCORDANCE WITH SECTION 15-1701(C) OF THE ILLINOIS MORTGAGE FORECLOSURE LAW. You will need a photo identification issued by a government agency (driver's license, passport, etc.) in order to gain entry into our building and the foreclosure sale room in Cook County and the same identification for sales held at other county venues where The Judicial Sales Corporation conducts foreclosure sales. MCCALLA RAYMER LEIBERT PIERCE, LLC Plaintiffs Attorneys, One North Dearborn Street, Suite 1200, Chicago, IL, 60602. Tel No. (312) 346-9088. THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL 60606-4650 (312) 236-SALE You can also visit The Judicial Sales Corporation at www.tjsc.com for a 7 day status report of pending sales. MCCALLA RAYMER LEIBERT PIERCE, LLC One North Dearborn Street, Suite 1200 Chicago IL, 60602 312-346-9088 E-Mail: pleadings@mccalla.com Attorney File No. 20-03099IL_604017 Attorney ARDC No. 61256 Attorney Code. 61256 Case Number: 20 CH 02427 TJSC#: 42-3773 NOTE: Pursuant to the Fair Debt Collection Practices Act, you are advised that Plaintiff's attorney is deemed to be a debt collector attempting to collect a debt and any information obtained will be used for that purpose. Case # 20 CH 02427 <b>13208502</b> 070707 ----- IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION COLONIAL SAVINGS, F.A Plaintiff, vs. BABAR SULTAN, 6300 SHERIDAN BUILDING CONDOMINIUM ASSOCIATION Defendants 22 CH 1744 NOTICE OF SALE PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on October 5, 2022, an agent for The Judicial Sales Corporation will on Wednesday, January 4, 2023 at the hour of 11 a.m. in their office at 120 West Madison Street, Suite 718A, Chicago, Illinois, sell at public auction to the highest bidder for cash, as set forth below, the following described mortgaged real estate: P.I.N. 14-05-202-019-1036. Commonly known as 6300 N. SHERIDAN AVE., UNIT 307, CHICAGO, IL 60660. The mortgaged real estate is improved with a condominium residence. The purchaser of the unit other than a mortgagee shall pay the assessments and the legal fees required by subdivisions (g)(1) and (g)(4) of Section 9 of the Condominium Property Act Sale terms: 10% down by certified funds, balance, by certified funds, within 24 hours. No refunds. The property will NOT be open for inspection. For information call Mr. Ira T. Nevel at Plaintiff's Attorney, Law Offices of Ira T. Nevel, 175 North Franklin Street, Chicago, Illinois 60606. (312) 357-1125. 22-00612 INTERCOUNTY JUDICIAL SALES CORPORATION intercountyjudicialsales.com <b>13207840</b> IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION ARVEST CENTRAL MORTGAGE COMPANY Plaintiff, -v- LEO J. DONOVAN, CHAMPION ROOFING, INC. Defendants 2022 CH 04586</p>	<p>1830 W SUNNYSIDE AVE CHICAGO, IL 60640 NOTICE OF SALE PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on September 20, 2022, an agent for The Judicial Sales Corporation, will at 10:30 AM on January 5, 2023, at The Judicial Sales Corporation, One South Wacker, 1st Floor Suite 35R, Chicago, IL, 60606, sell at a public sale to the highest bidder, as set forth below, the following described real estate: Commonly known as 1830 W SUNNYSIDE AVE, CHICAGO, IL 60640 Property Index No. 14-18-214-028-0000 The real estate is improved with a residence. Sale terms: 25% down of the highest bid by certified funds at the close of the sale payable to The Judicial Sales Corporation. No third party checks will be accepted. The balance, including the Judicial Sale fee for the Abandoned Residential Property Municipality Relief Fund, which is calculated on residential real estate at the rate of \$1 for each \$1,000 or fraction thereof of the amount paid by the purchaser not to exceed \$300, in certified funds/wire transfer, is due within twenty-four (24) hours. No fee shall be paid by the mortgagee acquiring the residential real estate pursuant to its credit bid at the sale or by any mortgagee, judgment creditor, or other lienor acquiring the residential real estate whose rights in and to the residential real estate arose prior to the sale. The subject property is subject to general real estate taxes, special assessments, or special taxes levied against said real estate and is offered for sale without any representation as to quality or quantity of title and without recourse to Plaintiff and in "AS IS" condition. The sale is further subject to confirmation by the court. Upon payment in full of the amount bid, the purchaser will receive a Certificate of Sale that will entitle the purchaser to a deed to the real estate after confirmation of the sale. The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property. Prospective bidders are admonished to check the court file to verify all information. If this property is a condominium unit, the purchaser of the unit at the foreclosure sale, other than a mortgagee, shall pay the assessments and the legal fees required by The Condominium Property Act, 765 ILCS 605/9(g)(1) and (g)(4). If this property is a condominium unit which is part of a common interest community, the purchaser of the unit at the foreclosure sale other than a mortgagee shall pay the assessments required by The Condominium Property Act, 765 ILCS 605/18.5(g-1). IF YOU ARE THE MORTGAGOR (HOMEOWNER), YOU HAVE THE RIGHT TO REMAIN IN POSSESSION FOR 30 DAYS AFTER ENTRY OF AN ORDER OF POSSESSION, IN ACCORDANCE WITH SECTION 15-1701(C) OF THE ILLINOIS MORTGAGE FORECLOSURE LAW. You will need a photo identification issued by a government agency (driver's license, passport, etc.) in order to gain entry into our building and the foreclosure sale room in Cook County and the same identification for sales held at other county venues where The Judicial Sales Corporation conducts foreclosure sales. MCCALLA RAYMER LEIBERT PIERCE, LLC Plaintiffs Attorneys, One North Dearborn Street, Suite 1200, Chicago, IL, 60602. Tel No. (312) 346-9088. THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL 60606-4650 (312) 236-SALE You can also visit The Judicial Sales Corporation at www.tjsc.com for a 7 day status report of pending sales. MCCALLA RAYMER LEIBERT PIERCE, LLC One North Dearborn Street, Suite 1200 Burr Ridge IL, 60527 630-794-5300 E-Mail: pleadings@ilcslegal.com Attorney File No. 14-22-03313 Attorney ARDC No. 00468002 Attorney Code. 21762 Case Number: 2022 CH 04586 TJSC#: 42-3745 NOTE: Pursuant to the Fair Debt Collection Practices Act, you are advised that Plaintiff's attorney is deemed to be a debt collector attempting to collect a debt and any information obtained will be used for that purpose. Case # 2022 CH 04586 <b>13207937</b> 303030 -----</p>

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**North Township Real Estate For Sale**

**Real Estate For Sale**

IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION TVC MORTGAGE TRUST 2020-RTL1, BY U.S. BANK TRUST NATIONAL ASSOCIATION, NOT IN ITS INDIVIDUAL CAPACITY BUT SOLELY AS OWNER TRUSTEE Plaintiff,

-v.- ZILLA PROPERTIES, INC., CAROLINA LAPEKAS, IRA SERVICES TRUST COMPANY Defendants 22 CH 5535

1952 NORTH BISSELL ST CHICAGO, IL 60614 NOTICE OF SALE

PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on October 7, 2022, an agent for The Judicial Sales Corporation, will at 10:30 AM on January 9, 2023, at The Judicial Sales Corporation, One South Wacker, 1st Floor Suite 35R, Chicago, IL, 60606, sell at a public sale to the highest bidder, as set forth below, the following described real estate:

Commonly known as 1952 NORTH BISSELL ST, CHICAGO, IL 60614 Property Index No. 14-32-407-058-0000

The real estate is improved with a multi-family residence.

The judgment amount was \$1,028,205.66.

Sale terms: 100% of the bid amount shall be paid in certified funds immediately by the highest and best bidder at the conclusion of the sale. The balance, including the Judicial Sale fee for the Abandoned Residential Property Municipality Relief Fund, which is calculated on residential real estate at the rate of \$1 for each \$1,000 or fraction thereof of the amount paid by the purchaser not to exceed \$300, in certified funds/wire transfer, is due within twenty-four (24) hours. The certified check must be made payable to The Judicial Sales Corporation. The subject property is subject to general real estate taxes, special assessments, or special taxes levied against said real estate and is offered for sale without any representation as to quality or quantity of title and without recourse to Plaintiff and in "AS IS" condition. The sale is further subject to confirmation by the court. Upon payment in full of the amount bid, the purchaser will receive a Certificate of Sale that will entitle the purchaser to a deed to the real estate after confirmation of the sale. The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property.

**Real Estate For Sale**

Prospective bidders are admonished to check the court file to verify all information. If this property is a condominium unit, the purchaser of the unit at the foreclosure sale, other than a mortgagee, shall pay the assessments and the legal fees required by The Condominium Property Act, 765 ILCS 605/9(g) (1) and (g)(4). If this property is a condominium unit which is part of a common interest community, the purchaser of the unit at the foreclosure sale other than a mortgagee shall pay the assessments required by The Condominium Property Act, 765 ILCS 605/18.5(g-1). IF YOU ARE THE MORTGAGOR (HOMEOWNER), YOU HAVE THE RIGHT TO REMAIN IN POSSESSION FOR 30 DAYS AFTER ENTRY OF AN ORDER OF POSSESSION, IN ACCORDANCE WITH SECTION 15-1701(C) OF THE ILLINOIS MORTGAGE FORECLOSURE LAW.

You will need a photo identification issued by a government agency (driver's license, passport, etc.) in order to gain entry into our building and the foreclosure sale room in Cook County and the same identification for sales held at other county venues where The Judicial Sales Corporation conducts foreclosure sales.

For information, contact Travis P. Barry, KELLEY KRONENBERG Plaintiffs Attorneys, 20 N CLARK STREET SUITE 1150, Chicago, IL, 60602 (312) 216-8828. Please refer to file number 02203408. THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL 60606-4650 (312) 236-SALE

You can also visit The Judicial Sales Corporation at [www.jscc.com](http://www.jscc.com) for a 7 day status report of pending sales.

Travis P. Barry  
KELLEY KRONENBERG  
20 N CLARK STREET SUITE 1150  
Chicago IL, 60602  
312-216-8828  
E-Mail: [tbarry@kklaw.com](mailto:tbarry@kklaw.com)  
Attorney File No. 02203408  
Attorney ARDC No. 6305429  
Attorney Code. 49848  
Case Number: 22 CH 5535  
TJSC#: 42-3861

NOTE: Pursuant to the Fair Debt Collection Practices Act, you are advised that Plaintiff's attorney is deemed to be a debt collector attempting to collect a debt and any information obtained will be used for that purpose.

**13208843**

IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS

**Real Estate For Sale**

COUNTY DEPARTMENT, CHANCERY DIVISION JPMBB 2015-C32 EAST DELAWARE PLACE, LLC, Plaintiff,

v. PIL II, L.P., CHICAGO REGAL HOLDINGS, LLC, UNKNOWN OWNERS AND NON-RECORD CLAIMANTS, Defendants.

Case No.: 2022 CH 03820  
198 East Delaware Place  
Chicago, Illinois 60611

NOTICE OF FORECLOSURE SALE  
PUBLIC NOTICE is hereby given by Plaintiff JPMBB 2015-C32 East Delaware Place, LLC ("Plaintiff") that pursuant to a Judgment Order of Foreclosure and Sale entered in the above-captioned cause on November 23, 2022, the Sheriff of Cook County will, on Thursday, January 19, 2023, at the hour of 1:00 p.m. at the Daley Center, Lower Level Room 06, 50 W. Washington, Chicago, IL, 60602, sell to the highest bidder for cash, the following described mortgaged real estate:

PIN: 17-03-213-003, 17-03-213-004, 17-03-213-009

Commonly known as: 198 East Delaware Place, Chicago, Illinois 60611. The mortgaged real estate is commercial. Sale shall be under the following terms: Bidders must present, at the time of sale, a cashier's or certified check for 10% of the successful bid amount. The balance of the successful bid shall be paid within 24 hours, by similar funds. The property will NOT be open for inspection.

For information call Plaintiff's Attorney, Edward J. Keating, Duane Morris, LLP, 190 South LaSalle Street, Chicago, Illinois 60603, telephone: (312) 499-6700.

This is an attempt to collect a debt pursuant to the Fair Debt Collection Practices Act and any information obtained will be used for that purpose.

**13208875**

141414 -----

IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION WILMINGTON SAVINGS FUND SOCIETY FSB AS OWNER TRUSTEE OF THE RESIDENTIAL CREDIT OPPORTUNITIES TRUST VI-A; Plaintiff,

v. BRIGETTE F. SOBUS AKA BRIDGETTE SOBUS

**Real Estate For Sale**

AKA BRIGETTE SOBUS; PATRICK S. OWCA; FIRST AMERICAN BANK; UNKNOWN OWNERS AND NONRECORD CLAIMANTS;

Defendants, 10 CH 21126

NOTICE OF SALE  
PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above entitled cause Intercounty Judicial Sales Corporation will on Tuesday, January 10, 2023 at the hour of 11 a.m. in their office at 120 West Madison Street, Suite 718A, Chicago, Illinois, sell at public auction to the highest bidder for cash, as set forth below, the following described mortgaged real estate:

P.I.N. 14-32-101-010-0000. Commonly known as 2339 N. Bosworth Avenue, Chicago, IL 60614.

The mortgaged real estate is improved with a multi-family residence (3 apartments). The successful purchaser is entitled to possession of the property only. The purchaser may only obtain possession of units within the multi-unit property occupied by individuals named in the order of possession.

Sale terms: 10% down by certified funds, balance, by certified funds, within 24 hours. No refunds. The property will NOT be open for inspection

For information call Mr. Stephen G. Daday at Plaintiff's Attorney, Klein, Daday, Aretos & O'Donoghue, LLC, 1051 Perimeter Drive, Schaumburg, Illinois 60173, (847) 590-8700. Sobus INTERCOUNTY JUDICIAL SALES CORPORATION

intercountyjudicialsales.com **13208237**

IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS

COUNTY DEPARTMENT - CHANCERY DIVISION PNC BANK, NATIONAL ASSOCIATION S/I/ MIDAMERICA BANK, FSB Plaintiff,

-v.- CARRIE CARMICHAEL A/K/A CARRIE E CARMICHAEL, RESIDENCES AT RIVER EAST CENTER CONDOMINIUM ASSOCIATION, PNC BANK, NATIONAL ASSOCIATION, S/I/ MIDAMERICA BANK, FSB, UNKNOWN OWNERS AND NON-RECORD CLAIMANTS

Defendants 14 CH 07229  
512 N MCCLURG COURT UNIT 1104 CHICAGO, IL 60611

NOTICE OF SALE

**Real Estate For Sale**

PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on September 16, 2015, an agent for The Judicial Sales Corporation, will at 10:30 AM on January 11, 2023, at The Judicial Sales Corporation, One South Wacker, 1st Floor Suite 35R, Chicago, IL, 60606, sell at a public sale to the highest bidder, as set forth below, the following described real estate:

Commonly known as 512 N MCCLURG COURT UNIT 1104, CHICAGO, IL 60611  
Property Index No. 17-10-223-033-1074

The real estate is improved with a high rise condominium with a parking garage.

Sale terms: 25% down of the highest bid by certified funds at the close of the sale payable to The Judicial Sales Corporation. No third party checks will be accepted. The balance, including the Judicial Sale fee for the Abandoned Residential Property Municipality Relief Fund, which is calculated on residential real estate at the rate of \$1 for each \$1,000 or fraction thereof of the amount paid by the purchaser not to exceed \$300, in certified funds/wire transfer, is due within twenty-four (24) hours. No fee shall be paid by the mortgagee acquiring the residential real estate pursuant to its credit bid at the sale or by any mortgagee, judgment creditor, or other lienor acquiring the residential real estate whose rights in and to the residential real estate arose prior to the sale. The subject property is subject to general real estate taxes, special assessments, or special taxes levied against said real estate and is offered for sale without any representation as to quality or quantity of title and without recourse to Plaintiff and in "AS IS" condition. The sale is further subject to confirmation by the court.

Upon payment in full of the amount bid, the purchaser will receive a Certificate of Sale that will entitle the purchaser to a deed to the real estate after confirmation of the sale.

The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property. Prospective bidders are admonished to check the court file to verify all information.

If this property is a condominium unit, the purchaser of the unit at the foreclosure sale, other than a mortgagee, shall pay the assessments and the legal fees required by The Condominium Property Act, 765 ILCS 605/9(g)(1) and (g)(4). If this property is a condominium unit which is part of a common interest community, the purchaser of the unit at the foreclosure sale other than a mortgagee shall pay the assessments required by The Condominium Property Act, 765 ILCS 605/18.5(g-1).

**Real Estate For Sale**

IF YOU ARE THE MORTGAGOR (HOMEOWNER), YOU HAVE THE RIGHT TO REMAIN IN POSSESSION FOR 30 DAYS AFTER ENTRY OF AN ORDER OF POSSESSION, IN ACCORDANCE WITH SECTION 15-1701(C) OF THE ILLINOIS MORTGAGE FORECLOSURE LAW.

You will need a photo identification issued by a government agency (driver's license, passport, etc.) in order to gain entry into our building and the foreclosure sale room in Cook County and the same identification for sales held at other county venues where The Judicial Sales Corporation conducts foreclosure sales.

MCCALLA RAYMER LEIBERT PIERCE, LLC Plaintiffs Attorneys, One North Dearborn Street, Suite 1200, Chicago, IL, 60602. Tel No. (312) 346-9088. THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL 60606-4650 (312) 236-SALE

You can also visit The Judicial Sales Corporation at [www.jscc.com](http://www.jscc.com) for a 7 day status report of pending sales.

MCCALLA RAYMER LEIBERT PIERCE, LLC One North Dearborn Street, Suite 1200 Chicago IL, 60602 312-346-9088

E-Mail: [pleadings@mccalla.com](mailto:pleadings@mccalla.com)  
Attorney File No. 20-04887L\_614587  
Attorney ARDC No. 61256  
Attorney Code. 61256  
Case Number: 14 CH 07229  
TJSC#: 42-4198

NOTE: Pursuant to the Fair Debt Collection Practices Act, you are advised that Plaintiff's attorney is deemed to be a debt collector attempting to collect a debt and any information obtained will be used for that purpose.

Case # 14 CH 07229

**13208596**

070707 -----

303030 -----

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**Rogers Park Township Real Estate For Sale**

**Real Estate For Sale**

IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION U.S. BANK NATIONAL ASSOCIATION, NOT IN ITS INDIVIDUAL CAPACITY, BUT SOLELY AS OWNER TRUSTEE FOR NJCC FUND #5 TRUST Plaintiff,

-v.- GHULAM ASGHAR, JUSTIN KAISE, AS TRUSTEE OF THE ASGHAR FAMILY TRUST, DISCOVER BANK, ATLANTIC CREDIT AND FINANCE SPECIAL FINANCE UNIT, LLC, BARCLAYS BANK DELAWARE Defendants

19 CH 14916  
6515 N. WINCHESTER AVE. CHICAGO, IL 60626

NOTICE OF SALE  
PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on October 17, 2022, an agent for The Judicial Sales Corporation, will at 10:30 AM on January 18, 2023, at The Judicial Sales Corporation, One South Wacker, 1st Floor Suite 35R, Chicago, IL, 60606, sell at a public sale to the highest bidder, as set forth below, the following described real estate:

Commonly known as 6515 N. WINCHESTER AVE., CHICAGO, IL 60626  
Property Index No. 11-31-401-063-0000

The real estate is improved with a single family residence.

The judgment amount was \$424,743.10.

Sale terms: 25% down of the highest bid by certified funds at the close of the sale payable to The Judicial Sales Corporation. No third party checks will be accepted. The balance, including the Judicial Sale fee for the Abandoned Residential Property Municipality Relief Fund, which is calculated on residential real estate at the rate of \$1 for each \$1,000 or fraction thereof of the amount paid by the purchaser not to exceed \$300, in certified funds/wire transfer, is due within twenty-four (24) hours. No fee shall be paid by the mortgagee acquiring the residential real estate pursuant to its credit bid at the sale or by any mortgagee, judgment creditor, or other lienor acquiring the residential real estate whose rights in and to the residential real estate arose prior to the sale. The subject property is subject to general real estate taxes, special assessments, or special taxes levied against said real estate and is offered for sale without any representation as to quality or quantity of title and without recourse to Plaintiff and in "AS IS" condition. The sale is further subject to confirmation by the court.

Upon payment in full of the amount bid, the purchaser will receive a Certificate of Sale that will entitle the purchaser to a deed to the real estate after confirmation of the sale.

The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property. Prospective bidders are admonished to check the court file to verify all information.

If this property is a condominium unit, the purchaser of the unit at the foreclosure sale, other than a mortgagee, shall pay the assessments and the legal fees required by The Condominium Property Act, 765 ILCS 605/9(g)(1) and (g)(4). If this property is a condominium unit which is part of a common interest community, the purchaser of the unit at the foreclosure sale other than a mortgagee shall pay the assessments required by The Condominium Property Act, 765 ILCS 605/18.5(g-1).

IF YOU ARE THE MORTGAGOR (HOMEOWNER), YOU HAVE THE RIGHT TO REMAIN IN POSSESSION FOR 30 DAYS AFTER ENTRY OF AN ORDER OF POSSESSION, IN ACCORDANCE WITH SECTION 15-1701(C) OF THE ILLINOIS MORTGAGE FORECLOSURE LAW.

You will need a photo identification issued by a government agency (driver's license, passport, etc.) in order to gain entry into our building and the foreclosure sale room in Cook County and the same identification for sales held at other county venues where The Judicial Sales Corporation conducts foreclosure sales.

For information, contact HEAVNER, BEYERS & MIHLAR, LLC Plaintiffs Attorneys, 601 E. William St., DECATUR, IL, 62523 (217) 422-1719. Please refer to file number 399265.

THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL

**Real Estate For Sale**

60606-4650 (312) 236-SALE  
You can also visit The Judicial Sales Corporation at [www.jscc.com](http://www.jscc.com) for a 7 day status report of pending sales.

HEAVNER, BEYERS & MIHLAR, LLC  
601 E. William St.  
DECATUR, IL, 62523  
217-422-1719  
Fax #: 217-422-1754

E-Mail: [CookPleadings@hsbattys.com](mailto:CookPleadings@hsbattys.com)  
Attorney File No. 399265  
Attorney Code. 40387  
Case Number: 19 CH 14916  
TJSC#: 42-4051

NOTE: Pursuant to the Fair Debt Collection Practices Act, you are advised that Plaintiff's attorney is deemed to be a debt collector attempting to collect a debt and any information obtained will be used for that purpose.

Case # 19 CH 14916

**13209213**

141414 -----

IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION U.S. BANK NATIONAL ASSOCIATION, AS TRUSTEE FOR BNC MORTGAGE LOAN TRUST 2006-2, MORTGAGE PASS-THROUGH CERTIFICATES, SERIES 2006-2; Plaintiff,

vs. ALBERT ATTERBERRY; SHEILA R. CLASBERRY AKA SHEILA R. CLASBERRY AKA SHEILA CLASBERRY; BEVERLY A. ATTERBERRY AKA BEVERLY ATTERBERRY CHATEAU LE MANS CONDOMINIUMS ASSOCIATION; Defendants

22 CH 4232  
NOTICE OF SALE  
PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above entitled cause Intercounty Judicial Sales Corporation will on Monday, January 9, 2023 at the hour of 11 a.m. in their office at 120 West Madison Street, Suite 718A, Chicago, Illinois, sell at public auction to the highest bidder for cash, as set forth below, the following described mortgaged real estate:

P.I.N. 11-30-311-024-1001. Commonly known as 7440 North Hoyne Avenue, #1S, Chicago, IL 60645.

The mortgaged real estate is improved with a condominium residence. The purchaser of the unit other than a mortgagee shall pay the assessments and the legal fees required by subdivisions (g)(1) and (g) (4) of Section 9 of the Condominium Property Act. Sale terms: 10% down by certified funds, balance, by certified funds, within 24 hours. No refunds. The property will NOT be open for inspection.

For information call Sales Department at Plaintiff's Attorney, Manley Deas Kochalski, LLC, One East Wacker Drive, Chicago, Illinois 60601. (614) 220-5611. 22-009056 ADC F2 INTERCOUNTY JUDICIAL SALES CORPORATION

intercountyjudicialsales.com **13208224**

IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION TOWD POINT MORTGAGE TRUST 2017-FR22, US BANK NATIONAL ASSOCIATION AS INDENTURE TRUSTEE; Plaintiff,

vs. STEVEN R. OLUND AKA STEVEN OLUND; WEBSTER BANK, NA; Defendants

21 CH 1402  
NOTICE OF SALE  
PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above entitled cause Intercounty Judicial Sales Corporation will on Monday, January 9, 2023 at the hour of 11 a.m. in their office at 120 West Madison Street, Suite 718A, Chicago, Illinois, sell at public auction to the highest bidder for cash, as set forth below, the following described mortgaged real estate:

Where a sale of real estate is made to satisfy a lien prior to that of the United States, the United States shall have one year from the date of sale within which to redeem, except that with respect to a lien arising under the internal revenue laws the period shall be 120 days or the period allowable for redemption under State law, whichever is longer, and in any case in which, under the provisions of section 505 of the Housing Act of 1950, as amended (12

**Real Estate For Sale**

P.I.N. 11-31-114-012-0000. Commonly known as 2203 West Lunt Avenue, Chicago, IL 60645.

The mortgaged real estate is improved with a single family residence. If the subject mortgaged real estate is a unit of a common interest community, the purchaser of the unit other than a mortgagee shall pay the assessments required by subsection (g-1) of Section 18.5 of the Condominium Property Act. Sale terms: 10% down by certified funds, balance, by certified funds, within 24 hours. No refunds. The property will NOT be open for inspection.

For information call Sales Department at Plaintiff's Attorney, Manley Deas Kochalski, LLC, One East Wacker Drive, Chicago, Illinois 60601. (614) 220-5611. 20-020110 ADC F2 INTERCOUNTY JUDICIAL SALES CORPORATION

intercountyjudicialsales.com **13208207**

IN THE CIRCUIT COURT OF COOK COUNTY, ILLINOIS COUNTY DEPARTMENT - CHANCERY DIVISION REVERSE MORTGAGE FUNDING LLC Plaintiff,

-v.- CORNELL H. HENTZ AS SUPERVISED ADMINISTRATOR OF THE ESTATE OF JAMES HUNTER, WOODREW HENTZ, JR., MELVIN HENTZ, DEDRIC E. HENTZ, CHAUNDRA ROUSSEAU, ASA COVINGTON, CORNELL HENTZ, UNITED STATES OF AMERICA - SECRETARY OF HOUSING AND URBAN DEVELOPMENT, UNKNOWN HEIRS AND LEGATEES OF JAMES HUNTER A/K/A JAMES HUNTER-HENTZ, MARIO HENTZ, UNKNOWN OWNERS AND NONRECORD CLAIMANTS

Defendants 2021 CH 04297  
7520 N ROGERS AVENUE CHICAGO, IL 60626

NOTICE OF SALE  
PUBLIC NOTICE IS HEREBY GIVEN that pursuant to a Judgment of Foreclosure and Sale entered in the above cause on June 21, 2022, an agent for The Judicial Sales Corporation, will at 10:30 AM on January 12, 2023, at The Judicial Sales Corporation, One South Wacker, 1st Floor Suite 35R, Chicago, IL, 60606, sell at a public sale to the highest bidder, as set forth below, the following described real estate:

Commonly known as 7520 N ROGERS AVENUE, CHICAGO, IL 60626  
Property Index No. 11-29-300-012-0000

The real estate is improved with a single family residence.

Sale terms: 25% down of the highest bid by certified funds at the close of the sale payable to The Judicial Sales Corporation. No third party checks will be accepted. The balance, including the Judicial Sale fee for the Abandoned Residential Property Municipality Relief Fund, which is calculated on residential real estate at the rate of \$1 for each \$1,000 or fraction thereof of the amount paid by the purchaser not to exceed \$300, in certified funds/wire transfer, is due within twenty-four (24) hours. No fee shall be paid by the mortgagee acquiring the residential real estate pursuant to its credit bid at the sale or by any mortgagee, judgment creditor, or other lienor acquiring the residential real estate whose rights in and to the residential real estate arose prior to the sale. The subject property is subject to general real estate taxes, special assessments, or special taxes levied against said real estate and is offered for sale without any representation as to quality or quantity of title and without recourse to Plaintiff and in "AS IS" condition. The sale is further subject to confirmation by the court.

Upon payment in full of the amount bid, the purchaser will receive a Certificate of Sale that will entitle the purchaser to a deed to the real estate after confirmation of the sale.

The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property. Prospective bidders are admonished to check the court file to verify all information.

If this property is a condominium unit, the purchaser of the unit at the foreclosure sale, other than a mortgagee, shall pay the assessments and the legal fees required by The Condominium Property Act, 765 ILCS 605/9(g)(1) and (g)(4). If this property is a condominium unit which is part of a common interest community, the purchaser of the unit at the foreclosure sale other than a mortgagee shall pay the assessments required by The Condominium Property Act, 765 ILCS 605/18.5(g-1).

IF YOU ARE THE MORTGAGOR (HOMEOWNER), YOU HAVE THE RIGHT TO REMAIN IN POSSESSION FOR 30 DAYS AFTER ENTRY OF AN ORDER OF POSSESSION, IN ACCORDANCE WITH SECTION 15-1701(C) OF THE ILLINOIS MORTGAGE FORECLOSURE LAW.

You will need a photo identification issued by a government agency (driver's license, passport, etc.) in order to gain entry into our building and the foreclosure sale room in Cook County and the same identification for sales held at other county venues where The Judicial Sales Corporation conducts foreclosure sales.

For information, contact HEAVNER, BEYERS & MIHLAR, LLC Plaintiffs Attorneys, 601 E. William St., DECATUR, IL, 62523 (217) 422-1719. Please refer to file number 399265.

THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL

**Real Estate For Sale**

U.S.C. 1701k), and subsection (d) of section 3720 of title 38 of the United States Code, the right to redeem does not arise, there shall be no right of redemption.

The property will NOT be open for inspection and plaintiff makes no representation as to the condition of the property. Prospective bidders are admonished to check the court file to verify all information.

If this property is a condominium unit, the purchaser of the unit at the foreclosure sale, other than a mortgagee, shall pay the assessments and the legal fees required by The Condominium Property Act, 765 ILCS 605/9(g)(1) and (g)(4). If this property is a condominium unit which is part of a common interest community, the purchaser of the unit at the foreclosure sale other than a mortgagee shall pay the assessments required by The Condominium Property Act, 765 ILCS 605/18.5(g-1).

IF YOU ARE THE MORTGAGOR (HOMEOWNER), YOU HAVE THE RIGHT TO REMAIN IN POSSESSION FOR 30 DAYS AFTER ENTRY OF AN ORDER OF POSSESSION, IN ACCORDANCE WITH SECTION 15-1701(C) OF THE ILLINOIS MORTGAGE FORECLOSURE LAW.

You will need a photo identification issued by a government agency (driver's license, passport, etc.) in order to gain entry into our building and the foreclosure sale room in Cook County and the same identification for sales held at other county venues where The Judicial Sales Corporation conducts foreclosure sales.

For information, examine the court file, CODILIS & ASSOCIATES, P.C. Plaintiff's Attorneys, 15W030 NORTH FRONTAGE ROAD, SUITE 100, BURR RIDGE, IL, 60527 (630) 794-9876

THE JUDICIAL SALES CORPORATION One South Wacker Drive, 24th Floor, Chicago, IL 60606-4650 (312) 236-SALE

You can also visit The Judicial Sales Corporation at [www.jscc.com](http://www.jscc.com) for a 7 day status report of pending sales.

CODILIS & ASSOCIATES, P.C.  
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## OUTLOOK from p. 4

“There has been no major positive reaction in purchase demand to these lower rates,” Khater noted.

Fifteen-year fixed mortgage rates averaged 5.67% on Dec. 8, down from 5.76% a week earlier. A year ago, 15-year fixed loans averaged 2.38%.

The Freddie Mac survey is focused on conventional, conforming, fully amortizing home-purchase loans for borrowers who put 20% down and have excellent credit.

However, mortgage hunters who shop around can find even better below-market deals. For example, on Dec. 8, Guaranteed Rate was quoting 5.99% on a conforming 30-year fixed mortgage for borrowers willing to pay 0.979% of the loan amount in discount points, or special fees.

## FEES from p. 13

Westward, they also noted the challenged law was an amendment to the original Condominium Property Act. When the General Assembly added this section in 1980, it allowed associations to charge 10 cents per page, but ensured buyers would not pay to obtain the information.

“By imposing the expense of providing the requisite disclosures on sellers rather than the buyers,” Carter wrote, “the amendment’s plain language strongly suggests that the legislature intended to primarily benefit buyers.”

Burke expressed his belief the court should make it clear courts can only find an implied private right of action when four specific criteria are met:

- The plaintiff belongs to a class for

On the purchase of a \$400,000 home, borrowers who place a 25% down payment could lock in a principal and interest payment of \$1,796. Points on the \$300,000 mortgage would add \$2,937 to the closing costs.

“Borrowers who qualify for a single-family conforming Freddie Mac or Fannie Mae loan can finance up to \$726,200 with lower credit scores, lower down payments, higher debt-to-income ratios, less documentation and no reserves, in most cases,” said J.D. Cortese, senior vice president of Guaranteed Rate.

For more housing news, visit [www.don-debat.biz](http://www.don-debat.biz). Don DeBat is co-author of “Escaping Condo Jail,” the ultimate survival guide for condominium living. Visit [www.escapingcondojail.com](http://www.escapingcondojail.com).

whose benefit a law was enacted.

- The alleged injury is one that law was designed to prevent.
- A civil suit is consistent with the law’s underlying purpose.
- The lawsuit is needed to provide the adequate remedy for the violations.

Burke said the majority’s opinion doesn’t sufficiently clarify that all four factors must be met, instead perpetuating “confusing language” under which some parties argue there must be a “clear need” for a court to consider every factor.

Justice Michael Burke was defeated in a recent election for a 10-year Supreme Court term. His replacement on the court is Appellate Justice Mary K. O’Brien. Carter also is leaving the court, having opted not to seek a full term.

## NAVY PIER from p. 3

highlighted by live entertainment on the big stage, a huge dance floor, countdown spectacular and fireworks show at midnight. And if it’s snowing, you’ll get an added bonus. The pier in the snow is amazing.

No matter which of these events you choose, you just can’t deny the splendor of our city, and our majestic Navy Pier.

“The Pier is a staple to Chicago and the world,” said Bolton. “It is a civic spacing welcoming to all, and inspires millions of families, year round.”

Light Up The Lake tickets start at \$15 for kids, \$27 for adults, depending on the day. Each ticket comes with access to the Rousseaux interactive art installation, a free ride on the Centennial Wheel, stomp light activity, reflecting pond, birch tree forest, light sculptures, ice skating, skate rentals, and visits with Santa.

## DAKOTAH from p. 7

didn’t know if he would live to see another day, let alone another birthday. We are so grateful for the work God is doing in Dakotah’s life and how much love and support we as a family and Dakotah have been shown. We appreciate each one of you during this time.”

He finally went home in September, a few weeks later than doctors initially expected, due to new complications. Before long, Dobbs took him on his “first real outing” — a shopping trip to Target.

But his mom was there all the way. “He has been through so much and taking it all like a Rock Star,” Dobbs tweeted shortly before he went home. “I said when this all began you would see God in all this. My son was not a full believer but God is so present in this moment.”

Prosecutors charged 19-year-old Tyshon Brownlee with attempted murder, armed robbery, and other felonies less than two weeks after Dakotah was targeted.

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**VIDEO** from p. 1

age of 18.” That includes any materials that may “depict or portray in any pose, posture or setting involving a lewd exhibition of the unclothed or transparently clothed genitals, pubic area, buttocks, or, if such person is female, a fully or partially developed breast of the child or other person.”

State law also outlaws “the knowledge of the nature or content [and adults who] produce any stage play, live performance, film, videotape or other similar visual portrayal or depiction by computer which includes a child whom the person knows or reasonably should know to be under the age of 18.”

In the video, Bruno said he had the full support of school management and school parents when he described how he passed around sex toys such as latex replicas of male sex organs and a device he described as a “butt-plug” which he said the underage children then had asked about how to use.

“I had like, our LGBTQ+ health center

come in. They were passing around butt plugs and dildos to my students, talking about queer sex. Using lube versus using spit,” Bruno is recorded as saying on the video.

School officials do not deny the content of the videos, instead, they simply chose to attack Project Veritas as a right-wing fringe group.

***School officials do not deny the content of the videos, instead, they simply chose to attack Project Veritas as a right-wing fringe group.***

“We are sickened by this group’s deceptive tactics, their invasion during a people of color conference, and their attack on the LGBTQ+ community. We will be meeting with Middle and Upper School students tomorrow to offer support and guidance,” according to a written statement from the school.

Yet, undercover journalism has a long history in Chicago. In 1906, journalist Upton Sinclair released “The Jungle,” an exposé of Chicago’s meat-packing industry. Sinclair’s book became the impetus for what today is the Food and Drug Administration. Decades later, in 1977, The Chicago Sun-Times and the Better Government Association operated a tavern at 731 N. Wells St. and used hidden cameras to expose how city officials often intimidated small business owners and demanded bribes from them. That exposé, known as The Mirage series, resulted in the journalists winning Pulitzer Prizes, and also in many convictions. That series also resulted in the reform of the management practices in City Hall within most all city departments.

Civil War veteran Col. Francis W. Parker founded the school in 1901 and it became a bastion of the progressive movement. Parker believed in personal responsibility and advocated for an educational system which considered the developmental needs

of children. He believed students should be able to follow their own interests as part of the educational process. He also believed in professional standards for teachers. Parker’s professional colleague, John Dewey, described Parker as the Father of Progressive Education.

Those who may be concerned about abuse of school children can call the National Center for Missing and Exploited Children [NCMEC]. Their 24-Hour call center is at 1-800-843-5678. People can also report child sexual exploitation online at CyberTipline.org.

The NCMEC’s mission is to help find missing children, reduce child sexual exploitation, and prevent child victimization. They work with families, victims, private industry, law enforcement, and the public to assist with preventing child abductions, recovering missing children, and providing services to deter and combat child sexual exploitation.

**CANDIDATES** from p. 1

Tom Tunney is stepping down, there are two people in the race, Bennett R. Lawson and Nathan Bean.

Ald. James Cappleman is also stepping down in the 46th Ward, leaving six candidates trying for his old job: Angela Clay, Kim Waltz, Patrick Nagle, Roushaunda Williams, Michael Cortez and Marianne Lalonde.

In the 40th Ward, incumbent Ald. Andre Vasquez will face Eddien Enrique Gonzalez, Christian Blume and Jane Lucius.

The 48th Ward has the fullest field with 10 candidates. Ald. Harry Osterman is retiring and those trying to take his post include Larry Svabek, Nick Ward, Joe Dunne, Andre Peloquin, Brian Haag, Isaac Freilich Jones, Leni Manaa-Hoppenworth, Roxanne Volkmann, Andy Peters, and Nassir Faulkner.

In the 49th Ward, incumbent Ald. Maria Hadden will be facing off against Belia Rodriguez, William “Bill” Morton, and Williamton “Willie” Davis.

In the 50th Ward, incumbent Ald. Debra Silverstein will face off against Mueze Bawany.

**Contested signatures... What’s that?**

Now that petitions have been filed with the Chicago Board of Elections [CBOE], insiders are watching to see which candidates may have signature challenges filed against them, to knock the other candidates off the ballot.

In the Chicago municipal elections a voter is restricted to signing only one petition for a candidate. (Illinois state and federal races do not have the same requirement.)

## North Side candidate forum Jan. 3

The 17 candidates from the 44th, 46th, 48th and 50th wards are lining up to participate in a forum hosted by Northside AARP Community Group, 1 p.m. Jan. 3, 2023.

The forum will take place in the Third Space Community Room of Lakeview Presbyterian Church, 716 W. Addison St. It will also be available virtually online.

The Ward-by-Ward break-out groups will “Meet the Candidates” in person.

Each ward break-out area will include a moderator who will preside over the assigned 10-minute presentation slot for each candidate. Other Ward groups may allot more time for fewer candidates. Campaign materials for these and other offices will be available on a literature table.

Those who wish to receive the ZOOM invitation to this event must email: northsideaarpcommunitygroup@gmail.com by Jan. 1.

This rule is the source of the dark Chicago science in determining if a candidate has met the required number of legal signatures to get on the ballot?

The process is expensive, time consuming, requires a special set of skills, and many times is impossible for a candidate to recover from, if they’re targeted.

The Illinois State Legislature has the power to fix this by passing legislation to require the CBOE to monitor the petition signatures for obvious fraud or insufficient numbers and remove those candidates from the ballot, with an appropriate appeal

***Now that petitions have been filed with the Chicago Board of Elections [CBOE], insiders are watching to see which candidates may have signature challenges filed against them, to knock the other candidates off the ballot.***

process. They also have the power to free Chicago voters from the one signature restriction.

For political reasons, they have chosen not to do this.

But in one North Side Ward, the candidates are trying to take on that task them-

selves. Six candidates in the 48th Ward Aldermanic race have been negotiating a “Democracy Pact” to not challenge other candidate’s petitions unless there is obvious fraud. The pact was the idea of Clean Count Cook County, a local pro-democracy advocacy group.

All six have expressed their desire to embrace the spirit of democracy and to “let the voters decide.” To date, four candidates have signed the pact, including Brian Haag, Nassir Faulkner, Roxanne Volkmann and Andy Peters.

“We know the 48th Ward faces many critical issues and we want to devote our energies to explaining and engaging the voters on how we plan to address their concerns, not spending wasted time and money at the CBOE trying to knock each other off the ballot,” said Haag.

The other candidates in the 48th Ward have received a copy of the pact and have discussed it, but have not agreed to it at the time of this writing.

**LAWRENCE** from p. 1

decided on a whim to name the street they were on after his companion.

Silverman was born in Bavaria, Germany, in 1830, and immigrated to the United States in 1849. He was a prominent banker who helped guide Chicago to the position of the nation’s second city.

Before and during the Civil War he actively engaged in lending large sums of money for the equipment of cavalry regiments, and the purchasing of saddles, bridles and outfits for officers and other ne-

cessities for the Federal Army.

The bank he owned survived the Great Chicago Fire of 1871, which still caused him great financial and material loss. Despite that, after the fire, he was instrumental in assisting and helping many poor and deserving people, even filling his own house with the homeless.

Silverman died in June 1909, and in papers filed with the Probate Court of Cook County, it appears that his fortune was gone by the time of his death. A few parcels of vacant real estate were all that was listed on the inventory for his estate.



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